

EXHIBIT A

Staff Report

Notice Information

Notice of Filing Mail Date	December 5, 2023
Notice Area	300 feet
Comment Period	14 days
Comment Due Date	December 19, 2023
Comments Received (summarize below)	None

Analysis of Development Code Criteria

Section 2.450 of the ADC includes the following review criteria, which must be met for this application to be approved. Development code criteria are written in bold followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

CRITERION 1 – COMPLETENESS

Date application received: October 19, 2023

Date application deemed complete: November 9, 2023

CRITERION 2 – ZONING DISTRICT DEVELOPMENT STANDARDS

Zoning District	Use Type	Review Type
IP (Industrial Park)	Contractors and Industrial Services	Site Plan Review*

*Applicable Special Conditions: None

This staff report checklist is a guide only. Refer to the Albany Development Code for the full text of standards.

Standard	IP Zone	Proposal
Minimums		
Lot size (sq. ft.)(1)	3 acres (4)	No change
Lot width	None	No change
Lot depth	None	No change
Front setback	15' (11)	No change
Interior setbacks	15' (6)	15' & 25'
Maximums		
Building Size	None (10)	N/A
Lot size (sq. ft.)	None	No change
Height (8)	50' (12)	29' 6"
Lot Coverage (7)	80%	62.9%
Landscaped Area (3)	100%	100%
Open Space	N/A	N/A

Special Circumstances and Exceptions	
(1)	The minimum lot size for residential units is 1,600 sq. ft. per unit. No minimum lot size is required for non-residential development.
(2)	New NC zones may be no more than 30,000 sq. ft. of contiguous land.
(3)	All yards adjacent to streets. Approved vegetated post-construction stormwater quality facilities are allowed in landscaped areas.
(4)	The minimum lot size for supporting commercial uses may be smaller than 3 acres.

(5)	Structures on property abutting residential districts and/or uses require 1 foot of setback for each foot of finished wall height with a minimum setback of 10 feet.
(6)	No setbacks are required for buildings abutting railroad rights-of-way.
(7)	Lot coverage for single dwelling detached and middle housing development shall only include the area of the lot covered by buildings or structures.
(8)	Unless in Airport Approach Overlay District. See Sections 4.400 to 4.440.
(9)	Ten or more multiple-dwelling units require common open space. See Section 8.220.
(10)	The maximum business footprint for supporting commercial uses allowed in IP is 5,000 square feet. The maximum business footprint for convenience-oriented and personal service-oriented retail uses in NC and OP is 5,000 square feet. Convenience-oriented and personal service-oriented retail uses in buildings constructed prior to February 7, 2003, in the NC and OP districts are exempt from the maximum business footprint.
(11)	When adjacent to or across the street from residentially zoned land, the setback shall be 1 foot for each foot of building height over 30 ft. Buildings may increase in height (“step” up) as the setback increases. For example, at the minimum setback in LI, a building may be 30 feet tall but may increase in height up to 50 feet when set back 50 feet from the property line.
(12)	Higher structures permitted by Conditional Use approval.
(13)	The maximum building size may be exceeded for non-commercial and non-office uses when the building is multi-story.

CRITERION 3 – SPECIAL PURPOSE DISTRICTS

Overlay	Checklist	Supplemental Findings
Article 4, Airport Approach	Transitional Surface <input type="checkbox"/> Horizontal Surface <input type="checkbox"/> Conical Surface <input type="checkbox"/> Approach Surface <input type="checkbox"/> None <input checked="" type="checkbox"/>	
Article 4, Airport Ldn Contours	55 Ldn <input type="checkbox"/> 60 Ldn <input type="checkbox"/> 65 Ldn <input type="checkbox"/> None <input checked="" type="checkbox"/>	
Article 6, Floodplain Overlay District (/FP)	Floodway <input type="checkbox"/> Floodplain <input type="checkbox"/> FIRM Panel No. 41043C0528G Base Flood Elevation _____ NGVD 29 <input type="checkbox"/> NAVD 88 <input type="checkbox"/> Elevation Cert. <input type="checkbox"/> LOMA <input type="checkbox"/> LOMR-F <input type="checkbox"/> CLOMR-F <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Article 6, Hillside Development Overlay (/HD)	Applicable <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/> Geotech Report Required <input type="checkbox"/>	
Article 6, Riparian Corridor Overlay (/RC)	Exempt <input type="checkbox"/> Natural Resource Impact Review <input type="checkbox"/> Mitigation Required <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Article 6, Significant Wetland Overlay (/SW)	Exempt <input type="checkbox"/> Natural Resource Impact Review <input type="checkbox"/>	3.1: A non-significant wetland is present on the southern portion of the subject site. A wetland delineation was approved on

	Mitigation Required <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	11/20/2023 by the Department of State Lands (DSL) (Attachment F).
Article 6, Habitat Assessment Overlay (HA)	Exempt <input type="checkbox"/> Natural Resource Impact Review <input type="checkbox"/> Mitigation Required <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Article 6, Willamette Greenway Overlay (/WG)	Applicable <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Article 7, Historic Overlay District	Monteith <input type="checkbox"/> Hackleman <input type="checkbox"/> Downtown Commercial <input type="checkbox"/> Albany Municipal Airport <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Conditions		
None		

CRITERION 4 – APPLICABLE DESIGN STANDARDS OF ARTICLE 8

Commercial/Institutional Standards	Summary Description*	Checklist
Entrance Orientation, ADC 8.330(1)	New buildings shall be oriented to existing or new public streets.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Main Entrance Design, ADC 8.330(1)(a)	At least one main entrance, compliant with subsection (1), must be designed to include at least three (3) architectural features.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Parking Location, ADC 8.330(2)	Off-street parking must be located to the side or rear of the building(s) and not between the building and the street, except where the applicant demonstrates that one or more situations apply.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Façade Design & Articulation, ADC 8.345(2)	Regulated façades shall include a minimum of two types of architectural features.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Ground Floor Windows, ADC 8.345(3)	Ground floor windows or entrance doors shall be provided along regulated façades at the pedestrian level in accordance with the standards.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>

Windows on Upper Stories, ADC 8.345(4)	In the HD, CB, DMU, and WF zoning districts, buildings with two or more stories shall provide windows occupying at least 25 percent of the regulated façade on the upper stories in accordance with the standards.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Pedestrian Amenities, ADC 8.360(1) & (2)	New buildings or expansions or modifications to existing buildings except those where a land use application is not required pursuant to ADC Section 1.105 shall provide pedestrian amenities.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Pedestrian Amenities, ADC 8.365(1)	Pedestrian amenities are required in the HD, CB, DMU, and WF zones. Each development shall provide a minimum of one of the improvements listed in 8.365(1)(a) – (f).	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Compatibility Standards, ADC 8.390	Commercial and institutional development shall be designed to comply with compatibility standards and any other improvements needed to reduce negative impacts on adjacent uses.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		
4.1: Industrial uses are not subject to site design standards.		
Conditions		
None		

CRITERION 5 – MANUFACTURED HOME DEVELOPMENT STANDARDS OF ARTICLE 10

Standard	Checklist	Supplemental Findings
Design Standards of Article 10	Applicable <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	

CRITERION 6 – ONSITE DEVELOPMENT AND ENVIRONMENTAL STANDARDS OF ARTICLE 9

Use	Required Bicycle Parking	Proposed Bicycle Parking
Contractors and Industrial Services	The greater of 2 spaces or 1,000 square feet of sales floor area.	2 spaces

Bicycle Parking Standards	Summary Description*	Checklist
Bicycle Parking, ADC 9.030(3)(a)	All bicycle parking areas shall have direct and accessible access to the public right-of-way and the primary building entrance.	Source: Attachment C3 Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>

Bicycle Parking, ADC 9.030(3)(b)	If bicycle parking is located within vehicle parking areas, it must be separated from vehicular maneuvering areas by curbing or other barriers to prevent damage to parked bicycles.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(c)	Bicycle parking may be in a public right-of-way, including on a public sidewalk with approval from the City Engineer.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(d)	All required bicycle parking spaces for new multi-dwelling unit development, mixed-use development, offices, and institutional development shall be sheltered. For all other uses, at least 50 percent of required bicycle parking spaces must be sheltered, including 50 percent of spaces sized for larger/cargo bicycles.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(e)	Bicycle parking spaces and access dimensions must comply with the standards in Table 9.030-2, except that at least 25 percent of bicycle parking spaces must be 3 feet wide by 8 feet long, with a 5-foot-wide access aisle and on the ground to accommodate cargo bicycles, including family and cargo bicycles.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(f)	Bicycle parking spaces must be served by access aisles conforming to the minimum dimensions set forth in Table 9.030-2. These areas must be constructed of concrete, asphalt, or a pervious hard surface such as pavers, or an equivalent.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(g)	Each bicycle parking space must have a parking rack securely fastened to the ground except for vertical tipped spaces. Bicycle parking racks must support each bicycle at a minimum of two points.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		
6.1: There are two existing bicycle parking spaces on site. This standard is met.		
Conditions		
None		

Carpool/Vanpool Spaces	Summary Description*	Checklist
Carpool/Vanpool Spaces, ADC 9.035(1)	When parking is provided, at least one standard-sized parking space shall be reserved for carpool/vanpool parking, or ten percent of employee-use parking spaces provided, whichever is greater.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Carpool/Vanpool Spaces, ADC 9.035(2)	Preferential carpool/vanpool parking spaces must be closer to the employee entrance of the building than other parking spaces, except for ADA accessible parking spaces.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>

Carpool/Vanpool Spaces, ADC 9.035(3)	Required carpool/vanpool spaces must be clearly marked "Reserved – Carpool/Vanpool Only."	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Accessible Spaces, ADC 9.040	Spaces compliant with the Americans with Disabilities Act (ADA) must be provided in accordance with ORS 477.233 when off-street parking is provided.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		
6.2: No new parking will be provided on the site; therefore, no additional carpool/vanpool spaces or additional ADA spaces will be provided. This standard is not applicable.		
Conditions		
None		

Electric Vehicle Charging	Summary Description*	Checklist
Electric Vehicle Charging Capacity, ADC 9.050	Electrical service capacity sufficient for a level 2 electric vehicle charging station must be provided for no less than 20 percent of all new vehicle parking spaces for non-residential developments and no less than 40 percent of all vehicle parking spaces serving newly constructed residential buildings with five or more multi-dwelling units.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Electric Vehicle Charging Capacity, ADC 9.050(2)	Electric vehicle charging capacity must be provided for 40 percent of ADA spaces in residential and mixed-use developments with five or more units, and 25 percent of ADA and Carpool/Vanpool spaces in non-residential developments.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Electric Vehicle Charging Capacity, ADC 9.050(3)	When charging facilities are provided for accessible spaces, charging facilities must be located so there is a clear and accessible path from the vehicle to the sidewalk and shall be accessible in height.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		
6.3: No new parking spaces will be provided on site, therefore no electric vehicle charging stations will be required. This standard is met.		
Conditions		
None		

Loading Standards	Summary Description*	Checklist
Loading Standards, ADC 9.060(1)	Loading spaces are required for all uses except office and residential uses. Vehicles in the berth shall not protrude into a public right-of-way or sidewalk. Loading berths shall be located so that vehicles are not required to back or maneuver in a public street	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>

<p>Loading Standards, ADC 9.060(2)</p>	<p>A school having a capacity greater than 25 students shall have a driveway designed for the continuous forward flow of passenger vehicles for the purpose of loading and unloading children.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Loading Standards, ADC 9.060(3)</p>	<p>The minimum required loading area is as follows: (a) 250 square feet for buildings of 10,000 to 20,000 square feet of gross floor area; (b) 500 square feet for buildings of 20,000 to 50,000 square feet of gross floor area; (c) 750 square feet for buildings greater than 50,000 square feet of gross floor area.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Loading Standards, ADC 9.060(4)</p>	<p>The required loading area shall not be less than 10 feet wide by 25 feet long and shall have an unobstructed height of 14 feet.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Loading Standards, ADC 9.060(5)</p>	<p>Required loading facilities shall be installed prior to final building inspection and shall be permanently maintained as a condition of use.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Loading Standards, ADC 9.060(6)</p>	<p>Loading areas shall be subject to the same provisions as parking areas relative to plan information, setbacks, buffering/screening requirements, and lighting.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>

Supplemental Findings

6.4: No new loading areas will be provided on site; therefore, this standard is not applicable.

Conditions

None

Parking Area Improvement Standards	Summary Description*	Checklist
<p>Parking Area Improvement Standards, ADC 9.100</p>	<p>All public or private parking areas, loading areas and outdoor vehicle sales areas must be improved based on the standards. When the total surface parking area for the development site exceeds 10,890 square feet, parking area improvements must comply with the standards in Section 9.135.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Other Requirements, ADC 9.100(2)</p>	<p>All parking areas shall conform to the setback, clear vision, landscaping, and buffering/screening provisions of this Code.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Surfacing, ADC 9.100(3)</p>	<p>All provided parking, travel aisles, and access, shall have a durable, dust-free surface of asphalt, cement concrete, or other materials approved by the Director.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>

<p>Drainage, ADC 9.100(4)</p>	<p>All parking lots must provide a drainage system to dispose of the runoff generated by the impervious surface. Provisions shall be made for the on-site collection of drainage water to eliminate sheet flow of such water. All drainage systems must be approved by the Director of Public Works.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Perimeter Curb, ADC 9.100(5)</p>	<p>Perimeter curbing is required for protection of landscaped areas and pedestrian walkways, and to prevent runoff onto adjacent properties.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Wheel Bumper, ADC 9.100(6)</p>	<p>All parking stalls fronting a sidewalk, alleyway, street or property line, shall provide a secured wheel bumper at least six inches high and at least six feet long, set back from the front of the stall at least 2-1/2 feet, but no more than three feet. If the sidewalk is widened to seven feet six inches, no wheel bumpers are required.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Turnaround, ADC 9.100(7)</p>	<p>Groups of more than two parking spaces must be located and served by an aisle or turnaround so that their use will require no backing movements or other maneuvering in a street right-of-way other than an alley.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Striping, ADC 9.100(8)</p>	<p>Lots containing more than two parking spaces must have all required spaces permanently and clearly striped. Stripes must be at least four inches wide. When motorcycle parking, compact, or parking spaces for the disabled are provided, they shall be designated within the stall.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Connecting to Adjacent Parking Areas, ADC 9.100(9)</p>	<p>Where an existing or proposed parking area is adjacent to a site within the same zoning district, any modifications to the parking areas must be designed to connect to the existing or future adjacent parking area, unless waived by the Director.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Parking Lot Landscaping, ADC 9.100(10)</p>	<p>Parking lots shall be landscaped according to the standards in Section 9.150.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Compact Car Parking, ADC 9.100(11)</p>	<p>No more than 40 percent of parking spaces provided may be designated for compact cars. Compact spaces must be signed and/or the space painted with the words "Compact Car Only."</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>
<p>Parking Accessible to the Disabled, ADC 9.100(12)</p>	<p>All parking areas must provide accessible parking spaces in conformance with the Oregon Structural Specialty Code.</p>	<p>Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/></p>

Lighting, ADC 9.100(13)	Any lights provided to illuminate any public or private parking area or vehicle sales area must be arranged to reflect the light away from any abutting or adjacent properties.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Pedestrian Access, ADC 9.100(14)	Walkways and accessways shall be provided in all new off-street parking lots and additions to connect sidewalks adjacent to new development to the entrances of new buildings.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Occasional Overflow Parking, ADC 9.110	The Director may approve the use of gravel surfacing for parking above the maximum parking requirements intended for occasional needs.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Conversion of Off-Street Parking, ADC 9.115)	When new development, including expansions to existing structures, results in the conversion or elimination of existing off-street surface parking areas for a use other than bicycle-oriented and transit-oriented facilities, all existing parking areas that are physically impacted by the development must be improved to the standards in Article 9.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		
6.5: The applicant does not propose any new parking areas as part of the proposal; therefore, this standard is not applicable.		
Conditions		
None		

Parking Lot Design & Circulation	Summary Description*	Checklist
Off-Street Parking Lot Design & Circulation, ADC 9.120(1)	All off-street parking lots over 1,000 square feet (contiguous) must be designed in accordance with the standards in this Article and the City standards for parking stalls and drive aisles as set forth in Table 9.120-1: Parking Lot Design and supplemental drawings in Figures 1 and 2.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Driveways and Drive Aisles, ADC 9.120(2)	<i>Driveways</i> are major travel routes through a site that provide access to and from surrounding streets and connections through the site to buildings and parking lot drive aisles. <i>Drive aisles</i> primarily provide vehicular access to bordering parking spaces. See Figure 9.120-1.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Internal Circulation System, ADC 9.120(3)	Interior driveways shall meet the standards in (a) – (g) unless the driveway is lined with angled or perpendicular parking stalls. Developments must provide street-like design and features along driveways including curbs, pedestrian facilities, and buildings built up to pedestrian facilities.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Minimum Driveway and Drive Aisle Widths, ADC 9.120(4)	Driveways for two-way traffic and emergency vehicle operations must be at least 24 feet wide. One-way driveways and one-way emergency vehicle access must be at least 20 feet wide. Drive aisle dimensions must comply with the standards in Table 9.120-1.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>

Parking Lot Design, ADC 9.120(5)	Parking stall and aisle dimensions must comply with Table 9.120-1. Stall dimensions are measured from inside the stripes. The design of driveways and on-site maneuvering and loading areas for commercial and industrial developments shall include 20 feet of storage length.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Compact Spaces, ADC 9.120(6)	Shall be at least 8 feet wide by 16 feet long.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Accessible Spaces, ADC 9.120(7)	Accessible spaces shall be a minimum of 9 feet wide and 17 feet long and designed in accordance with the Oregon Structural Specialty Code (OSSC). An adjacent access aisle must be provided that is at least eight feet wide and 17 feet long for a van-accessible space, and six feet wide for a standard accessible space.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Stall Width, ADC 9.120(8)	Long-term parking spaces must be at least 8.5 feet wide. Parking stalls for grocery stores or adjacent to planter islands must be at least 9.5 feet wide. Stall dimensions are measured from inside the stripes.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		
6.6: No new parking areas or driveways are proposed as part of this application; therefore, this standard is not applicable.		
Conditions		
None		

Surface Parking Areas Standards	Summary Description*	Checklist
Surface Parking Areas, ADC 9.130(1)	Standards apply to new or improved surface parking areas of more than 0.25 acres (10,890 square feet), and to parking lot additions of 5,000 square feet or more, when existing parking areas are enlarged to more than 10,890 square feet, and when re-construction of a surface parking area of more than 0.25 acres is proposed.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Surface Parking Areas, ADC 9.130(2)	Compliance with at least one of the following options in (a) – (c).	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Surface Parking Areas, ADC 9.130(3)	Trees must be provided along all driveways but are not required along drive aisles. Trees shall be at least 10 feet tall at the time of planting.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Surface Parking Areas, ADC 9.130(4)	Development of a tree canopy plan under this section shall be done in coordination with the local electric utility and other utility providers, including pre-design, design, building and maintenance phases and meet the standards in (a) – (e).	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>

Surface Parking Areas, ADC 9.130(5)	Parking lots shall be designed to separate pedestrians from vehicles and include protected pedestrian walkways from parking areas to building entrances.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Surface Parking Areas, ADC 9.130(6)	Parking lots with 75 or more spaces must comply with additional standards to ensure pedestrian safety and to improve vehicle circulation and reduce visual impacts of large expanses of pavement.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		
6.7: No new surface parking are areas are proposed as part of this application; therefore, this standard is not applicable.		
Conditions		
None		

Connectivity	Summary Description*	Checklist
Street, Bicycle and Pedestrian Connectivity, ADC 9.133(4)	Pedestrian and bicycle connections shall be provided in the following locations: (a) Between an existing or planned transit stop and new development that is at, or within, 200 feet of the existing or planned transit stop; (b) Between the building’s main entrance(s) and the nearest sidewalk abutting the site or roadway where there is no sidewalk; (c) Between the development site and abutting properties.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Major Transit Stops, ADC 9.133(5)	Sites at major transit stops shall provide the items listed in (a) – (f).	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		
6.8: The applicant has proposed a new pedestrian striped crossing connection from the existing sidewalk adjacent to the building to the public right-of-way. This standard is met.		
6.9: The subject site is not located at a major transit stop. This criterion is not applicable.		
Conditions		
None		

Non-Residential Landscaping	Summary Description*	Checklist
Landscaping Required – Non-Residential, ADC 9.140(2)	All required front and interior setbacks (exclusive of accessways and other permitted intrusions) must be landscaped or have landscaping guaranteed in accordance with ADC 9.190 before an occupancy permit will be issued.	Source: Attachment D Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		
6.10: Front setback: The applicant proposes to install five trees and utilize three existing trees along the Surpra Drive SW frontage, and eleven 5-gallon shrubs or 15 one-gallon shrubs. The existing groundcover will remain in place.		
6.11: Interior setbacks: The applicant proposes to install 122 1-gallon shrubs, 76 5-gallon shrubs, and living groundcover or decorative bark or rock.		
Conditions		
1. All required landscaping must be installed prior to Certificate of Occupancy.		

Parking Lot Landscaping	Summary Description*	Checklist
Planter Bays, ADC 9.150(1)	Parking areas shall be divided into bays of not more than 12 parking spaces. At both ends of each parking bay, there shall be curbed planters at least six feet wide, excluding the curb.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Entryway Landscaping, ADC 9.150(2)	Both sides of a parking lot entrance shall be bordered by a minimum five-foot-wide landscape planter strip meeting the same landscaping provisions as planter bays, except that no sight-obscuring trees or shrubs are permitted.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Parking Space Buffers, ADC 9.150(3)	Parking areas shall be separated from the exterior wall of a structure by pedestrian walkways or loading areas or by a five-foot strip of landscaping materials.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Stormwater Collection System, ADC 9.150(4)	Vegetated post-construction stormwater quality facilities shall be considered as the initial stormwater collection system.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Landscape Protection, ADC 9.150(5)	Required landscaped areas adjacent to graveled areas must be protected, either by railroad ties secured by rebar driven 18 inches into the ground, by large boulders, or by another acceptable means of protection.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Parking Area Perimeter Landscaping in Village Centers, ADC 9.160	All parking areas (excluding entranceways) adjacent to a public street shall be screened according to one of the following options in (a) through (d). The landscape plan shall be prepared by a licensed landscape architect.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Irrigation of Required Landscaping, ADC 9.165	All required landscaped areas must be provided with an irrigation system unless a licensed landscape architect, landscape construction professional, or certified nurseryman submits written verification that the proposed plants do not require irrigation.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		
6.12: The applicant does not propose new parking areas or changes to the existing parking areas. This standard is not applicable.		
6.13: The applicant states that all new landscape areas will be watered with an automatic irrigation system or hand -watered for the required establishment period.		
Conditions		
2. Prior to Certificate of Occupancy for the proposed development, the applicant shall either install an irrigation system or submit a letter from a qualified landscape professional stating that irrigation is not required per ADC 9.160.		

Tree Felling Standards	Summary Description*	Checklist
Tree Felling, ADC 9.205(1)	The Director or his/her designee shall approve a Site Plan Review for tree felling when the applicant demonstrates that the felling of the tree(s) is warranted because of the condition of the tree(s) with respect to disease,	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/>

	hazardous or unsafe conditions, danger of falling, proximity to existing structures or proposed construction, or interference with utility services or pedestrian or vehicular safety.	Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Tree Felling, ADC 9.205(2)	For property where a Site Plan Review, Conditional Use, or land division application has been approved or is currently under review for development of the property, the Director or his/her designee shall approve Site Plan Review for tree felling when the applicant demonstrates that all of the review criteria in (a) – (d) are met.	Source: Attachment C2 Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Tree Felling, ADC 9.205(3)	For property where tree felling is proposed and there is no approved or concurrent Site Plan Review, Conditional Use, or land division application for development of the property, the Director or his/her designee shall approve a Site Plan Review application for tree felling when the applicant demonstrates that all the review criteria in subsection (2) above are met, and the additional criteria in (a) – (g) are met.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Clear & Objective Criteria for Tree Felling Associated with Housing, ADC 9.206	For property where a building permit, Site Plan Review, subdivision, or partition application has been approved or is currently under review for the development of housing on a property, the applicant proposing the felling of trees may choose to meet the criteria in Section 9.206 rather than the criteria in Section 9.205.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings:		
6.14: The applicant will not fell any trees as part of the proposal; therefore, this standard is not applicable.		
Conditions:		
None		

Buffering & Screening Standards	Summary Description*	Checklist
Buffering, ADC 9.240	The buffer area shall meet the standards in (1) – (3).	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Screening, ADC 9.250	Where screening is required or provided, these standards apply in addition to conditions (1) and (3) of ADC 9.240.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Screening of Refuse Containers, ADC 9.255	Standards apply to all developments except for refuse containers or disposal areas serving four or fewer dwellings.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Buffer and Screening Matrix, Table 9.210-1	<input checked="" type="checkbox"/> 0' Buffer Only <input type="checkbox"/> <input type="checkbox"/> 5' Buffer & Screening <input type="checkbox"/> <input type="checkbox"/> 10' <input type="checkbox"/> 20' <input type="checkbox"/> 30' <input type="checkbox"/> 40'	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		

6.15: No buffer or screening is required; therefore, this standard is met.
6.16: The applicant proposes to install a covered refuse container disposal area with a six-foot fence with privacy slats as well as a six-foot hedge on the side of the refuse area facing Supra Drive SW.
Conditions
None

Fence & Wall Standards	Summary Description*	Checklist
Fence and Wall Standards in Residential, MUR and MUC zones, ADC 9.380(1)	Fences shall be no taller than 4 feet in required front setbacks. Properties listed on the National Register of Historic Places may have front yard fences taller than 4 feet if the fence is appropriate to the building style and scale and is approved by the Landmarks Commission.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Fence and Wall Standards on Corner Lots in Residential, MUR and MUC zones, ADC 9.380(2)	Corner properties, which by definition have two front yards, may have a fence no taller than 6 feet in the front yard adjacent to the street that does not contain the main door entrance when the fence does not extend in front of the building and one of the conditions in (a) – (d) is met.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Fence and Wall Standards for Interior Setbacks in Residential, MUR and MUC zones, ADC 9.380(3)	Fences in a residential zone in Article 3 or in the MUR or MUC zone may have fences up to six feet tall in the interior setbacks except that a single-dwelling use or zone that shares an interior property line with a multiple-dwelling unit, commercial or industrial use or zone may have a fence up to eight feet tall along the property line.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Fence and Wall Standards in Commercial, Industrial, ES, LE, MS, PB, and TD zones, ADC 9.380(4)	Fences shall be no taller than 6 feet in required front setbacks. 6-foot fences containing barbed wire on top or fences taller than 6 feet are not permitted in the front setback.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Fence and Wall Standards in HD, DMU, CB, and WF zones, ADC 9.380(5)	Fences shall be no taller than 4 feet within 10 feet of a front lot line unless allowed under (a)-(c). Barbed wire on top of fences is not permitted within 10 feet of a front lot line.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Standards for All Fences, ADC 9.380(6)-(10)	<input type="checkbox"/> Over 8 feet <input checked="" type="checkbox"/> Outside of Clear Vision Area <input checked="" type="checkbox"/> Fence height in compliance <input checked="" type="checkbox"/> Meets Setbacks <input type="checkbox"/> Located on the property line	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Screening Standards, ADC 9.385(1)-(2)	In order to be "sight-obscuring," fences and walls must be at least 75 percent opaque when viewed from any angle at a point 25 feet away from the fence or wall. Hedges must be an evergreen species that will meet the standards year-round within two years of planting. Fences and walls will be a minimum of 6 feet tall. Hedges will be of a species capable of attaining a height of at least six feet within two years of planting.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>

Supplemental Findings
6.17: The applicant proposes to install a chain link seven-foot fence with one foot of barbed wire on top. The proposed fence is located behind the required 15-foot setback.
Conditions
None

Environmental Standards	Summary Description*	Checklist
Environmental Standards – Noise, ADC 9.440(1)-(5)	The City noise standards are stated in Albany Municipal Code Title 7, Public Peace, Morals and Safety. Oregon Administrative Rules (OAR) 340-035-0035, Noise Control Regulations for Industry and Commerce, is adopted here in its entirety, and as may be subsequently amended by the State of Oregon.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Environmental Standards – Visible Emissions, ADC 9.450	Within the mixed-use, commercial, IP and WF zoning districts, there shall be no use, operation, or activity that results in a stack or other point source emission, other than an emission from space heating, or the emission of pure uncombined water (steam) that is visible from a property line.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Environmental Standards – Water Quality, ADC 9.455	Direct discharge of stormwater and process waste from the operation of industries shall comply with the water quality standards adopted by the City of Albany, DEQ and as authorized by a National Pollutant Discharge Elimination System (NPDES) Permit.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Environmental Standards – Vibration, ADC 9.460	Continuous, frequent, or repetitive vibrations that exceed 0.002g peak may not be produced. Vibrations from temporary construction and vehicles that leave the site (such as trucks, trains, or aircraft) are exempt; vibrations lasting less than five minutes per day are also exempt. Vibrations from primarily on-site vehicles and equipment are not exempt.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Environmental Standards – Odors, ADC 9.470	Continuous, frequent, or repetitive odors or the emission of odorous gases or other matter in such quantities as to be readily detectable at any point beyond the property line of the use creating the odors is prohibited.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Environmental Standards – Glare and Heat, ADC 9.480	No direct- or sky-reflected glare in excess of 0.5-foot candles of light, whether from floodlights or from high-temperature processes such as combustion or welding or otherwise, visible at the lot line shall be permitted. There shall be no emission or transmission of heat or heated air so as to be discernible at the lot line of the source.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Environmental Standards – Insects and Rodents, ADC 9.490	All materials including wastes shall be stored and all grounds shall be maintained in a manner that will not attract or aid the propagation of insects or rodents or create a health hazard.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Environmental Standards – Hazardous Waste, ADC 9.500	Hazardous wastes are subject to the regulations of Oregon Administrative Rules (OAR) 340.100-110, Hazardous Waste Management.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>

Supplemental Findings

6.18: The design and operating characteristics of the proposed development are comparable to other commercial operations in the vicinity, and therefore, no adverse environmental impacts are anticipated. This standard is met.

Conditions

None

CRITERION 7 – PUBLIC FACILITIES AND UTILITIES IN ACCORDANCE WITH ARTICLE 12

Utility	Diameter Size	Location	Checklist
Sanitary Sewer	12-inch	Public main located along the southern boundary line.	Source: Attachment C4 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> Connection Charge <input checked="" type="checkbox"/> Connection Required <input type="checkbox"/> System Development <input checked="" type="checkbox"/>
	8-inch	Public main Located along the western boundary line.	
Water	12-inch	Located along the southern boundary line.	Source: Attachment C4 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> Connection Charge <input type="checkbox"/> Connection Required <input type="checkbox"/> System Development <input type="checkbox"/>
	8-inch	Located along the western boundary line.	
	8-inch	Located in Supra Drive along the property frontage.	
Storm Drainage		The applicant has submitted a preliminary drainage report that shows the installation of an on-site stormwater system connecting to public drainage system in Supra Drive.	Source: Attachment C5 Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> Connection Charge <input type="checkbox"/> Connection Required <input type="checkbox"/> Onsite Detention <input checked="" type="checkbox"/> SWQ Facility <input checked="" type="checkbox"/> System Development <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>

Supplemental Findings

Sewer:

7.1: AMC 10.01.080 (2) states that before the City will issue a Building Permit, the applicant must pay to the City the necessary System Development Charges and any other applicable fees for connection to the public sanitary sewer system.

7.2: The applicant’s preliminary site plan indicates that the proposed development will be connected to a new private sewer lateral from the sanitary sewer main to the west. The preliminary site plans show a fueling station with sewer catch basins and sewer catch basin for a truck wash station. The proposed development shows a “Decant Building” for disposal of wet material from vacuum truck operations. The Decant Building has a sanitary sewer inlet from this building that discharges to the sanitary sewer system. AMC 10.01.040 regulates discharge into the public sanitary sewer system. The sewer catch basins/inlets shall be covered and graded to prevent rain runoff from entering the sanitary sewer system. The sanitary sewer catch basins/inlets shall flow through an oil/water separator prior to entering the public sanitary sewer system. The Decant Building inlet shall have sediment removal Best Management Practices installed prior to discharge to public sanitary sewer systems. Best Management Practices shall be reviewed and approved by City of Albany’s Engineering Division prior to installation.

7.3: An Encroachment Permit from the City of Albany’s Engineering Division is required before work is started on the new sewer lateral construction.

Water:

7.4: The applicant’s preliminary utility plan indicates that the proposed development will connect to the existing water service serving the site. The preliminary utility plan indicates the relocation of a public fire hydrant. The developer must obtain a Permit for Private Construction of Public Improvements through the City of Albany’s Engineering Division.

Storm Drainage:

7.5: Allen Alane and Supra Drive are improved to city standards with curb, gutter along the subject property frontage.

7.6: It is the property owner’s responsibility to ensure that any proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. In addition, any proposed drainage systems must be shown

on the construction drawings. The type of private drainage system, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany's Engineering Division.

7.7: ADC 12.530 states that a development will be approved only where adequate provisions for storm and flood water run-off have been made, as determined by the City Engineer.

7.8: The applicant has submitted a preliminary drainage report that shows the installation of on-site stormwater system connecting to public drainage system in Supra Drive. Final design details for these storm drainage facilities will be reviewed in conjunction with the building permits.

7.9: AMC 12.45.030 and 12.45.040 require that a post-construction stormwater quality permit shall be obtained for all new development and/or redevelopment projects on a parcel(s) equal to or greater than one acre, including all phases of the development, where more than 8,100 square feet of impervious surfaces will be created or replaced. (Ord. 5841 § 3, 2014).

7.10: Because the site is larger than one acre and more than 8,100 square feet of impervious surfaces will be created or replaced, the applicant must obtain a stormwater quality permit and construct stormwater quality facilities that meet all City Engineering Standards pertaining to stormwater quality.

Conclusions

- 7.1: Public sanitary sewer, water, and storm drainage facilities are in place and adequate to serve the proposed development.
- 7.2: Before the applicant can make a new sewer service connection to the public sewer system an Encroachment Permit must be obtained from the City of Albany's Engineering Division.
- 7.3: The applicant shall construct Best Management Practices for the new Decant Building prior to connection to the public sanitary sewer system.
- 7.4: The applicant must obtain a Permit for Private Construction of Public Improvements through the City's Engineering Division for relocation of fire hydrant.
- 7.5: The applicant shall construct stormwater detention facilities to provide storm and flood-water controls. Before the City will issue any occupancy permit for the proposed project, the applicant must construct stormwater detention facilities that comply with the City's Engineering Standards.
- 7.6: The applicant must provide detention and stormwater quality facilities for the proposed development.

Conditions

- 3: Before the applicant can make a new sewer service connection to the public sanitary sewer system, the applicant shall construct Best Management Practices for the new Decant Building. An Encroachment Permit must be obtained from the City of Albany's Engineering Division for the connection to the public sanitary sewer system.
- 4: Before the applicant can relocate the public fire hydrant the applicant must obtain a Permit for Private Construction of Public Improvements through the City's Engineering Division.
- 5: Before the City will issue any occupancy permit for the proposed project, the applicant must obtain a Stormwater Quality Permit from the City of Albany's Engineering Division and construct stormwater detention and stormwater quality facilities generally as detailed in the applicant's storm drainage report.

CRITERION 8 – TRANSPORTATION IMPROVEMENTS IN ACCORDANCE WITH ARTICLE 12

Street Name or Alley	Classification	Frontage Condition
Allen Lane	Principal Arterial <input type="checkbox"/>	Meet City Standards <input type="checkbox"/>
	Minor Arterial <input type="checkbox"/>	Not Fully Improved <input checked="" type="checkbox"/>
	Major Collector <input checked="" type="checkbox"/>	Curb and Gutter <input type="checkbox"/>
	Minor Collector <input type="checkbox"/>	Sidewalk <input type="checkbox"/>
	Local <input type="checkbox"/>	Vehicle Lane <input type="checkbox"/>
	Alley <input type="checkbox"/>	Bicycle Lane <input type="checkbox"/>
		On-Street Parking <input type="checkbox"/>
	See findings below <input checked="" type="checkbox"/>	

Supra Drive SW	Principal Arterial <input type="checkbox"/> Minor Arterial <input type="checkbox"/> Major Collector <input type="checkbox"/> Minor Collector <input type="checkbox"/> Local <input checked="" type="checkbox"/> Alley <input type="checkbox"/>	Meet City Standards <input type="checkbox"/> Not Fully Improved <input checked="" type="checkbox"/> Curb and Gutter <input type="checkbox"/> Sidewalk <input type="checkbox"/> Vehicle Lane <input type="checkbox"/> Bicycle Lane <input type="checkbox"/> On-Street Parking <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Traffic Analysis		
Traffic Impact Analysis <input type="checkbox"/> Trip Generation Report <input type="checkbox"/> Capacity/Congestion <input type="checkbox"/> AM Peak Hr. Trips _____ PM Peak Hr. Trips _____ See findings below <input checked="" type="checkbox"/>		
Supplemental Findings		
8.1: Allen Lane lacks curb, gutter, and sidewalk. Improvements include: a vehicle travel lane in each direction; a two-way center left turn lane; and on street bike lanes. 8.2: Supra Drive SW includes curb, gutter, sidewalk, a vehicle travel lane in each direction, and on-street parking along both sides of the street. 8.3: ADC 12.060 requires that all streets within and adjacent new development be improved to city standards. The City can accept a Petition for Improvement/Waiver of Remonstrance when the City Engineer determines that the construction of frontage improvement is not timely. 8.4: The proposed truck wash, fueling island, and partially enclosed storage areas are accessory to the existing use and are not expected to result in increased vehicle trip generation. 8.5: A 2,800-square-foot enclosed vehicle storage structure with an interior restroom does have the potential to generate additional vehicle trips based on allowed uses within the structure. Based on ITE trip generate rates for Warehousing the structure could be expected to generate 5 vehicle trips per day, of which 1 would occur during the PM peak traffic hour. 8.6: Albany's threshold for submittal of a trip generation estimate is 50 peak hour trips. Developments that generate 100 or more peak hour trips are required to submit a TIA. 8.7: Albany's Transportation System Plan (TSP) does not identify any capacity or congestion issues adjoining the site.		
Conditions		
6. Prior to issuance of a Building Permit, the applicant shall provide a Petition for Improvement/Waiver of Remonstrance for the construction of street improvements to Allen Lane.		

CRITERION 9 – STORMWATER QUALITY FACILITIES CONSISTENT WITH AMC TITLE 12

Supplemental Findings	
9.1: See findings under Site Plan Review Criterion Seven (above) related to stormwater quality standards in response to this review criterion.	Site Larger than 1 Acre <input type="checkbox"/> > 8,100 sf Impervious Surface <input type="checkbox"/> SWQ Permit Req'd. <input type="checkbox"/> N/A <input type="checkbox"/> See findings at left <input checked="" type="checkbox"/>

CRITERION 10 – PRIOR LAND USE CONDITIONS

Prior Land Use Cases <input checked="" type="checkbox"/>	Not Applicable <input type="checkbox"/>
List Most Recent to Oldest: SP-51-05	
Outstanding Conditions: 1.4 Sidewalk has been constructed along part of the Supra Drive frontage of the property, but not along the southerly section. The property owner /developer must construct sidewalk to City standards along the remainder of the frontage along Supra Drive.	
Supplemental Findings	
10.1: Condition 1.4 of SP-51-05 was not satisfied prior to Certification of Occupancy of the buildings.	

Conditions
7. Prior to Certificate of Occupancy, sidewalk constructed to City Standards must be built along the southerly portion of the site’s frontage along Supra Drive SW.

CRITERION 11 – NONCONFORMING SITES IN ACCORDANCE WITH ADC 2.330

Supplemental Findings	
	Nonconforming Development <input type="checkbox"/> Nonconforming Lot <input type="checkbox"/> Nonconforming Use <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Conditions	
None	

Analysis of Development Code Criteria

Section 2.455 of the ADC includes the following review criteria applicable to non-residential development, which must be met for this application to be approved. Development code criteria are written in bold followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

CRITERION 1 – TRANSPORTATION SYSTEM CAN SAFELY AND ADEQUATELY ACCOMMODATE THE PROPOSED DEVELOPMENT

Findings
1.1: The applicant states that the proposed storage buildings are intended to support the existing development and are not intended to increase the traffic on and off the site. This criterion is met.
Conditions
None

CRITERION 2 – PARKING AREAS AND ENTRANCE-EXIT POINTS ARE DESIGNED TO FACILITATE TRAFFIC AND PEDESTRIAN SAFETY AND AVOID CONGESTION

Findings
2.1: The existing parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety to avoid congestion. The existing site provides two driveways, one for staff and one for service fleet vehicles. Both driveways are designed with pedestrian crossings to promote pedestrian safety. This criterion is met.
Conditions
None

CRITERION 3 – DESIGN AND OPERATING CHARACTERISTICS OF THE PROPOSED DEVELOPMENT ARE REASONABLY COMPATIBLE WITH SURROUNDING DEVELOPMENT AND LAND USES, AND ANY NEGATIVE IMPACTS HAVE BEEN SUFFICIENTLY MINIMIZED.

Findings
3.1: The proposed service yard expansion is compatible with the surrounding development within the Industrial Park Zoning district and will be constructed to the rear of the existing office building and parking area. The applicant proposes to install landscaping along surrounding property lines adjacent to the proposed accessory buildings to minimize any negative impacts to surrounding development and land uses. This criterion is met.
Conditions
None

Overall Conclusion

As proposed and conditioned, the application for Site Plan Review satisfies all applicable review criteria as outlined in this report.

Conditions of Approval

- Condition 1** All required landscaping must be installed prior to Certificate of Occupancy.
- Condition 2** Prior to Certificate of Occupancy for the proposed development, the applicant shall either install an irrigation system or submit a letter from a qualified landscape professional stating that irrigation is not required per ADC 9.160.
- Condition 3** Before the applicant can make a new sewer service connection to the public sanitary sewer system, the applicant shall construct Best Management Practices for the new Decant Building. An Encroachment Permit must be obtained from the City of Albany's Engineering Division for the connection to the public sanitary sewer system.
- Condition 4** Before the applicant can relocate the public fire hydrant the applicant must obtain a Permit for Private Construction of Public Improvements through the City's Engineering Division.
- Condition 5** Before the City will issue any occupancy permit for the proposed project, the applicant must obtain a Stormwater Quality Permit from the City of Albany's Engineering Division and construct stormwater detention and stormwater quality facilities generally as detailed in the applicant's storm drainage report.
- Condition 6** Prior to issuance of a Building Permit, the applicant shall provide a Petition for Improvement/Waiver of Remonstrance for the construction of street improvements to Allen Lane.
- Condition 7** Prior to Certificate of Occupancy, a sidewalk constructed to City Standards must be built along the southerly portion of the site's frontage along Supra Drive SW.

Attachments

- A. Location Map
- B. Applicant's Narrative
- C. Civil Site Plans
- D. Landscape Plans
- E. Architectural Plans
- F. Response from the Oregon Department of State Lands

Acronyms

ADC	Albany Development Code
ADT	Average Daily Trip
AMC	Albany Municipal Code
FEMA	Federal Emergency Management Administration
FIRM	Flood Insurance Rate Map
ITE	Institute of Transportation Engineers
IP	Industrial Park Zoning District
RS-6.5	Residential Single Dwelling
SFHA	Special Flood Hazard Area
TIA	Traffic Impact Analysis
TSP	Transportation Systems Plan

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or Development Code regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

Planning

1. Land use approval does not constitute Building or Public Works permit approvals.
2. Construction of the development must substantially conform to the approved Site Plan Review.
3. This proposal must be initiated within three years of the date of this letter of approval.

Building

The Building Division within Community Development has provided the following comments:

4. The proposed project may require permits that will need to be applied for at www.cityofalbany.net/permits. For questions about permitting requirements, please email cd.customerservice@cityofalbany.net.
5. The proposed design has not been reviewed for code compliance with the Oregon Building Code and the design will need to meet the applicable Oregon Building Code requirement in effect at time of application.

Engineering

6. The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

7. An erosion prevention and sediment control (EPSC) permit shall be obtained for land-disturbing activities affecting an area of 2,000 square feet or greater, cumulatively (AMC 12.40.030)

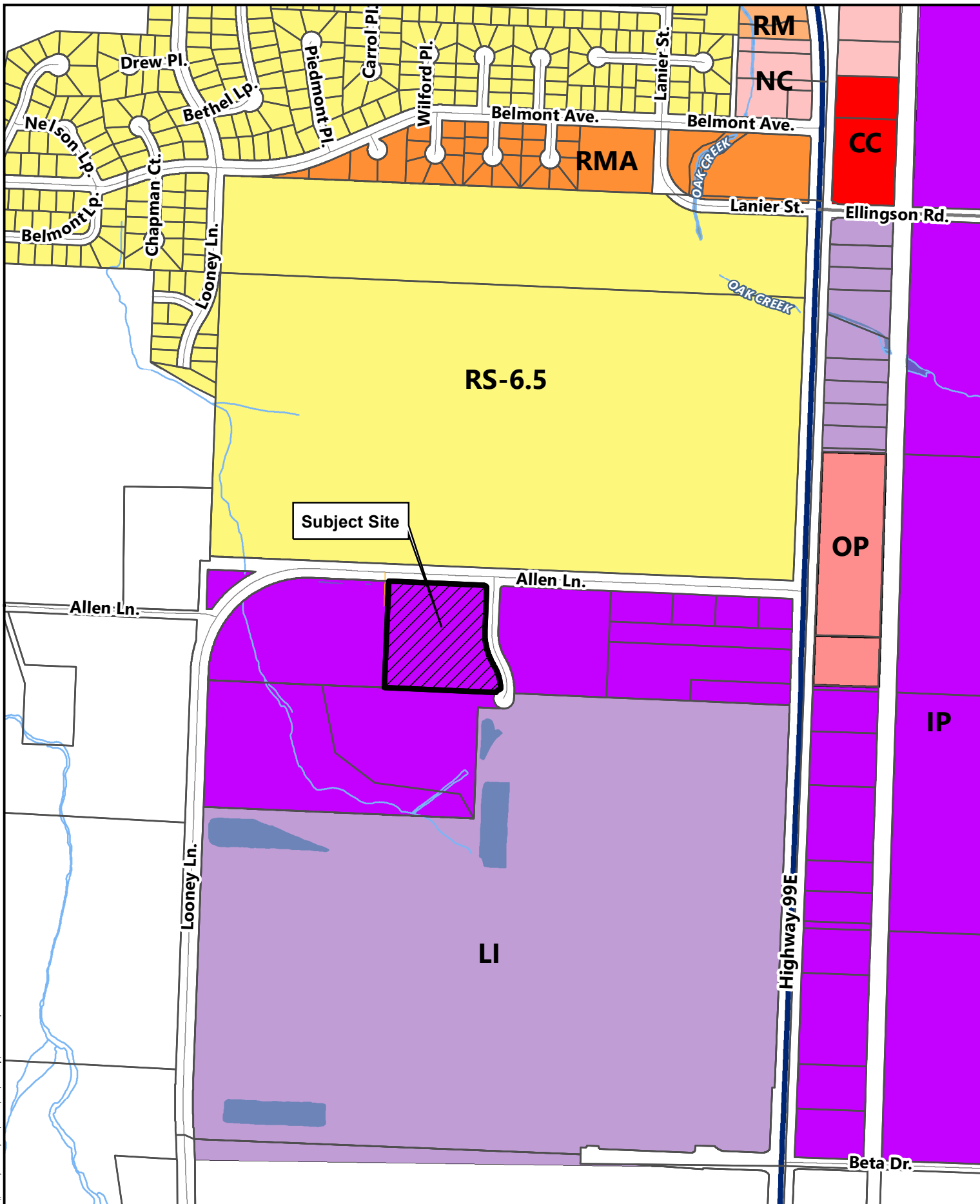
Fire

The fire department has reviewed the above project for conformance to the 2022 Oregon Fire Code (OFC) per your request and has the following comments.

**** NOTE: Addition of a private fire line will result in a quarterly Fire Line Fee***

8. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the property as measured by an approved route of travel around the exterior of the structure. (OFC 503.1.1)
9. This proposed project is located within a "Protected Area" as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area is currently served by a public water system. The Fire Flow required shall be as specified in Appendix B of the fire code (OFC 507.3).
10. The location and spacing requirements for fire hydrants are based on four project-specific criteria:
 - a. The distance from the most remote exterior point of the building(s) to the closest available fire hydrant.
 - b. The calculated "fire flow" of the proposed building(s).
 - c. The spacing of the existing fire hydrants along the public and private fire apparatus roads serving the property.
 - d. The location of new required public or private fire apparatus access roads located adjacent to the proposed building(s) to be constructed.

The existing hydrant may need to be relocated.



\\oc.cityofalbany.net\homes\lzo\Desktop\Location Map.mxd



05000200300

Feet

Date: 10/20/2023 Map Source: City of Albany

7150 SW Supra Drive

Location / Zoning Map

NWN ALBANY RESOURCE CENTER SERVICE YARD EXPANSION

SITE PLAN REVIEW APPLICATION – TYPE I-L

November 21, 2023

PROJECT INFORMATION:

7150 SUPRA DRIVE SW

ALBANY, OR 97321

MAP: 11S04W25, TAX LOT: 01302

ZONING: IP – INDUSTRIAL PARK

PROPERTY OWNER / NW NATURAL GAS CO

250 SW TAYLOR STREET

PORTLAND, OR 97204-3038

APPLICANT REPRESENTATIVE / LRS ARCHITECTS:

MARY FIERROS BOWER

720 NW DAVIS STREET, SUITE 300

PORTLAND, OR 97209



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EXHIBIT G

PRE-APPLICATION CONFERENCE SUMMARY PR-17-22

PROJECT TEAM CONTACT INFORMATION

PROPERTY OWNER:

NW Natural Gas Co.

Contact: Wayne Pipes
Wayne.pipes@nwnatural.com
250 SW Taylor Street
Portland, OR 97204-3038
503.226.4211 X2496

APPLICANT REPRESENTATIVE / ARCHITECT:

LRS Architects

Paul Boundy
pboundy@lrsarchitects.com
503.265.1561

Contact: Mary Fierros Bower
mfierrosbower@lrsarchitects.com
720 NW Davis Street, Suite 300
Portland, OR 97209
503.221.1121

CIVIL ENGINEER:

A & O Engineering

Scott Morris
scottmorris@ao-engr.com

Contact: Kyle Morris
kylemorris@ao-engr.com
380 Q Street, Suite 200
Springfield, OR
541.302.9790

LANDSCAPE ARCHITECT:

Greenworks


Gill Williams, PLA, ASLA
gillw@greenworkspc.com

Contact: Rebecca Shepard
rebeccas@greenworkspc.com
24 NW 2nd Avenue, Suite 100
Portland, Oregon 97209
503.222.5612

NWN ALBANY RESOURCE CENTER

Narrative and Zoning Code Conformance

The subject site is located on 7150 Supra Drive SW, Albany. The site is approximately 5 acres in size and carries the IP – Industrial Park base zoning.

<p>Site Information / Vicinity Map</p>	
<p>Location</p>	<p>7150 Supra Drive SW, Albany, OR 97321</p>
<p>Jurisdiction</p>	<p>Albany</p>
<p>County</p>	<p>Linn</p>
<p>Accessor's Map</p>	<p>11S04W25</p>
<p>Tax Lot</p>	<p>01302</p>
<p>Total Site Size</p>	<p>217,800 SF / 5 acres</p>
<p>Existing Developed Land Area</p>	<p>172,498 SF / 3.96 acres</p>
<p>Proposed Service Yard Expansion</p>	<p>45,166 SF / 1.04 acres</p>
<p>Land Use</p>	
<p>Jurisdiction</p>	<p>Albany</p>
<p>Base Zone</p>	<p>IP – Industrial Park</p>
<p>Overlay Districts</p>	<p>Local Wetland Inventory</p>
<p>Existing Use</p>	<p>Communications and Dispatch Resource Center – NW Natural Gas Co</p>

Pre-Application Conference Summary	04/6/22, PR-17-22
Prior Land Use Approval	SP-51-05
Type of Review	Site Plan Review Type I-L Procedure
City's Local Wetland Inventory Map	Identified Local Wetland Inventory
Surrounding land uses and zones	
North:	RS-6.5, Parking Lot, Linn-Benton Community College (Across Allen Lane)
South:	IP, Vacant Land (Abutting Property)
East:	IP, Central Willamette Community Credit Union (Across Supra Drive SW)
West:	IP, Tec Labs (Abutting Property)

Proposal Summary

PROJECT DESCRIPTION

NW Natural is a natural gas utility, the company provides construction and emergency services to the community. The Resource Center is not open to customers or the public, it is a communications and dispatch center for emergency gas line repair response crews, infrastructure maintenance, along with the fleet vehicle and materials storage needed for that purpose. To provide better response to the communities, it is in the process of upgrading their existing facility infrastructure to meet “Critical Infrastructure Business Utility” level. To be able to provide critical services to the community, NWN proposes to expand their service yard to include critical operational infrastructure to better support the community.

The project proposes expansion of the service yard and seismic upgrades to the existing office building. The service yard expansion is approximately 45,166 SF. Including associated paved drive-isles, perimeter curb, light poles, and new perimeter security fencing. The service yard expansion includes the following new site structures:

- Pipe Storage 3-sided open shed (3,400 SF)
- Covered spoils bins 3-sided open shed (2,800 SF)
- Fueling Tank Island with canopy (2,300 SF)
- Enclosed Vehicle Storage Garage + Restroom (2,800 SF)
- Truck Wash Pad / Truck Wash Equipment Room (1,660 SF)
- Trash Enclosure (258 SF)
- Truck Scale

All proposed buildings will be constructed with pre-engineered metal building (PEMB) structures.

PRE-APPLICATION CONFERENCE MEETING

Members of the project team met with City staff on April 6, 2022, for an Pre-Application Conference to review preliminary concepts. The City's Pre-Application Conference Summary, PR-17-22, has been reviewed in detail and applicable zoning code criteria for the subject project have been identified and responded to herein.

PROJECT BACKGROUND

The current NW Natural site consists of an existing 11,340 SF office building, attached 1,960 SF drive-thru bay, a 4,240 SF open sided pipe storage building / enclosed storage warehouse building within the service yard, including parking for staff located in the front and back of the building and parking for their fleet vehicles located in the back service yard portion of the site. The property carries an (IP) industrial Park District zoning designation. There was an addition and remodel completed in 2006. The addition included an open sided pipe storage building, enclosed storage warehouse building and office building expansion.

LAND USE HISTORY

Below are the land use approvals that the City of Albany has on record for the subject site.

1. SP-51-05

DEVELOPMENT REVIEW

The applicant is requesting approval to expand NW Natural's service yard to build new non-residential accessory structures with the provisions of the City of Albany Development Code. The service yard expansion area is approximately 45,166 SF. **The proposed site storage buildings are allowed and classified as a non-residential accessory structure to the current use.**

After reviewing the Albany Development Code, the Applicant found the following Sections to be applicable to this Site Design Review Application. Including the Local Wetland overlay district.

APPLICABLE ALBANY DEVELOPMENT CODE ARTICLES

Article 1 Administration and Procedures
 Article 2 Review Criteria Standards
 Article 4 Commercial and Industrial Zoning Districts
 Article 6 Natural Resource Districts
 Article 8 Design Standards
 Article 9 On-Site Development and Environmental Standards
 Article 12 Public Improvements

ARTICLE 1 ADMINISTRATION AND PROCEDURES

1.100 OVERVIEW.

LAND USE REVIEW PROCEDURES GENERALLY

1.100 APPLICABILITY OF REVIEW PROCEDURES.

(2) Type I-L Procedure (Staff Review with Notice). A Type I-L procedure is used for some tentative plats and when applying discretionary land use standards that regulate the physical characteristics of a use which is permitted outright. Type I-L decisions are made by the Director and require public notice and an opportunity for appeal to a local hearing body.

TABLE 1.100-1 – PROCEDURE BY APPLICATION TYPE.

<u>Application/Action</u>	<u>Procedure Type</u>	<u>Decision Body</u>	<u>Pre-App Conference</u>	<u>Neighborhood Mtg</u>
<u>Modifications</u>				
Modifications of Approved Site Plan Review	Same procedure and decision body as original decision		Yes	No
<u>Site Plan Review</u>				
	I-L	Director	Yes	No

The proposed project requires a Site Plan Review Type I-L Procedure: Modifying Existing Development.

Type I-L Procedure requirements:

- *Pre-Application Conference*
- *Does not require a Neighborhood Meeting*

PRE-APPLICATION CONFERENCES AND NEIGHBORHOOD MEETINGS

1.130 PRE-APPLICATION CONFERENCE.

Site Plan Modifications and Site Plan Review Applications require a Pre-Application Conference (unless waived by the Community Development Director) and does not require a neighborhood meeting since the application type does not fall under the types listed in Section 1.140 (2).

(2) When Mandatory.

Pre-application conferences are mandatory for all land use actions identified as requiring a pre-application conference in Table 1.100-1.

RESPONSE

The proposed development is subject to a Site Plan Review Type I-L procedure and is subject to a pre-application conference. A pre-application conference was held on April 6, 2022. Therefore, this criterion has been met. See Exhibit G for a written summary of the conference.

APPLICATION SUBMITTAL AND COMPLETENESS REVIEW**1.170 COMPLETENESS REVIEW.**

(1) Duration. Except as otherwise provided under ORS 227.178, the Director must review an application for completeness within 30 days of its receipt.

REVIEW TYPE PROCEDURES

1.220 Type I-L Procedure (Administrative Review with Notice). Type I-L decisions are made by the Director with public notice and an opportunity for review and comment.

Submittal Requirements.

(1) Type I-L applications must include the submittal information required by ADC 1.160.

ARTICLE 2 REVIEW CRITERIA STANDARDS**NONCONFIRMING SITUATIONS****2.300 PURPOSE.**

This section provides standards and procedures for the continuation of lots, developments, and uses that are lawfully established but do not comply with current Code standards ("nonconforming situations"). The Code is intended to protect public health, safety, and general welfare, while allowing reasonable use of private property.

2.330 NONCONFORMING DEVELOPMENT.

(5) Required Improvements. When a proposed project includes alterations that are over the threshold in Subsection (a), the project shall provide the required improvements listed in Subsection (b) for the area specified in Subsection (c).

(a) Threshold. The project requires a **Type I-L**, Type II, or Type III land use approval as specified in Article 1 of this Code and cumulative value of one or more building improvements or expansions exceeds \$150,000, excluding the costs associated with the following alterations and improvements intended to bring the site or building into compliance with applicable regulations:

(b) Required improvements. Ten percent of the cost of all improvements proposed in excess of the threshold in Subsection (a) must be allocated toward improvements that bring the site into compliance with standards listed below unless all of the standards listed below can be met at lesser cost. Category 1 improvements must be brought into compliance first. Improvements within a category can be made in any order. If improvements required to comply with this subsection are proposed after approval of the Type I-L, Type II, or Type III land use review (e.g., in conjunction with the building permit), those improvements shall not be subject to an additional Type I-L, Type II, or Type III land use review or additional required improvements under Subsection (a).

Category 1 Bicycle Parking in 9.030 and Electric Vehicle Charging Capacity in 9.050.

RESPONSE

The existing development has nonconforming development. The existing development provides (2) existing bicycle parking spaces – 1 bike rack. Based on calculation, (2) additional bike spaces are needed. The applicant proposes to bring the bicycle parking into compliance, as listed in Category 1. The subject application proposes (2) new bicycle parking spaces – 1 bike rack. Therefore, this criterion has been met. See ADC 9.030 for Bicycle Parking for calculation.

SITE PLAN REVIEW.

2.400 PURPOSE.

Site Plan Review is intended to promote functional, safe, and attractive developments that maximize compatibility with surrounding developments and uses and with the natural environment. It mitigates potential land use conflicts through specific conditions attached by the review body. The review focuses on the layout of a proposed development, including building placement, setbacks, parking areas, external storage areas, open areas, and landscaping.

2.415 PROCEDURE.

An application for Site Plan Review shall be reviewed through either a Type I or Type I-L procedure, as indicated below.

(3) Non-residential development: Type I-L procedure.

2.430 APPLICABILITY.

In general, Site Plan Review is intended for all new development within the city that specifically, requires Site Plan Review as listed in Articles 3, 4 and 5. It applies to new construction, additions or expansions, site modifications, and changes in land use categories. Sites that contain a legal nonconforming use will be processed in accordance with Section 2.340.

(1) Any development that requires Site Plan Review, unless specifically exempt in Section 1.105.

(2) A change of use or reuse of a building or site when the use is allowed through Site Plan Review, and that requires construction of three or more new parking spaces, additional loading areas, or that modifies site circulation or access.

(3) Building additions greater than 2,000 square feet or greater than 50 percent of existing building area, whichever is less, or any expansion that provides three or more new parking spaces, additional loading areas, or modifies site circulation or access.

2.450 REVIEW CRITERIA – ALL SITE PLAN REVIEW APPLICATIONS

All Site Plan Review Applications. Site Plan Review approval will be granted if the review body finds that the application conforms with the Albany Development Code and meets all of the following criteria that are applicable to the proposed development.

Criteria 7 through 10

(7) The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.

RESPONSE

Public facilities and utilities are anticipated to be available to serve the proposed service yard expansion in accordance with Article 12. Public sewer, water and stormwater border the property on multiple sides and

therefore are available to serve the development. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

(8) The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.

RESPONSE

Transportation improvements are not anticipated to be required with the proposed service yard expansion. The existing transportation infrastructure is anticipated to be able to accommodate the proposed service yard expansion in accordance with Article 12. Public roadways (Allen Ln and Supra Dr SW) border the subject property on two sides. Two existing driveways exist on the eastern side from Supra Dr SW are proposed to remain and will adequately serve the existing development with the proposed expansion. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

(9) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

RESPONSE

The proposed dry detention pond will provide detention and treatment for stormwater runoff from the NEW impervious surfaces. This pond is proposed to discharge into an existing public curb inlet in Supra Dr SW. Existing impervious surfaces that are either remaining "as-is" or being re-paved are proposed to follow the existing drainage patterns. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set and Exhibit E, Stormwater Memo.

(10) The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.

RESPONSE

The applicant is requesting approval to expand NW Natural's service yard to include new storage buildings. Per our knowledge the proposed storage buildings meet all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

2.455 REVIEW CRITERIA – ADDITIONAL CRITERIA FOR NON-RESIDENTIAL APPLICATIONS

Additional Criteria for Non-Residential Applications (including the non-residential portion of a mixed-use development). Site Plan Review approval will be granted if the review body finds that, in addition to meeting the review criteria in 2.450, the application meets all of the following criteria that are applicable to the proposed development.

(1) The transportation system can safely and adequately accommodate the proposed development.

RESPONSE

The applicant is requesting approval to expand NW Natural's service yard to include new storage buildings. The proposed storage buildings are intended to support the existing development. The number of staff is not anticipated to increase with the proposed service yard expansion. Thus, the transportation system can safely and adequately accommodate the proposed development.

Therefore, this criterion has been met. See Exhibit D, Peak Hour Trip Generation Calculation.

(2) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.

RESPONSE

The existing development parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion. The existing site provides two driveways one for the staff and one for the service fleet vehicles. A main entrance / exit for the staff is located to the northeast of the site including a sidewalk connection from the public right of way to the office building including a stripped pedestrian crossing across the drive isle. The secondary main entrance / exit for the service fleet vehicles is located to the southeast. The driveway orientation and designated staff and fleet vehicle on-site parking areas are clearly identified to promote traffic and pedestrian safety and to avoid congestion. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

(3) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

RESPONSE

The existing development and subject service yard expansion design and operating characteristics of the proposed development is compatible with the surrounding industrial development and land uses within the Industrial Park zoning district. The existing development is surrounded by a nicely landscaped tall berm along the perimeter of the site to the north and east including mature trees. The tall berm provides a nice buffer screen. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

2.490 Application Contents. *A Site Plan Review application must include items 1-5.*

(1) A completed application form. The application shall be signed by the subject property's owner(s) and/or the owner's legal representative(s). If a legal representative is used as a signatory, written proof of ability to be a signatory shall be furnished to the City. The owner's name(s) and address, and the applicant's name, address, and signature shall also be provided.

(2) A written narrative describing the proposed development and explanation of how the development satisfies applicable Albany Development Code standards and review criteria, including information required by Article 6 – Natural Resource Districts.

(3) One set of conceptual drawings, including floor plans, lighting details, and building elevations and Materials

(4) A conceptual landscape plan showing the type and location of proposed landscaping and screening, including parking lot landscaping and when applicable, the tree canopy calculations, and any vegetated post-construction stormwater quality facilities.

(5) A site plan showing the following applicable information

(f) Adjacent zoning designations and land uses including approximate location of buildings, accesses, streets, sidewalks, curbs, easements, and utilities.

RESPONSE

The subject Site Plan Review application includes required content as indicated above. Therefore, this criterion has been met. See Exhibits A-G.

TABLE 2.760-1 PLAN DESIGNATION ZONING MATRIX

<u>Comprehensive Plan Designation</u>	<u>Compatible Zoning Districts</u>
Light Industrial	Industrial Park (IP)

RESPONSE

The subject site carries the Industrial Park (IP) zoning designation, comprehensive plan designation Light Industrial and is located within the Local Wetland Inventory overlay district.

ARTICLE 4 COMMERCIAL AND INDUSTRIAL ZONING DISTRICTS**4.010 OVERVIEW.**

The zones created in this article are intended to provide land for commercial, office and industrial uses. The differences among the zones, in the permitted uses and development standards, reflect the existing and potential intensities of commercial and industrial development. The site development standards allow for flexibility of development while minimizing impacts on surrounding uses. The regulations in this article promote uses and development that will enhance the economic viability of specific commercial and industrial areas and the city as a whole. Development may also be subject to the provisions in Article 8, Design Standards, Article 9, On-Site Development and Environmental Standards, and Article 12, Public Improvements. Sites within overlay districts are also subject to the provisions in Article 6, Special Purpose Districts, and Article 7, Historic Overlay Districts.

ZONING DISTRICTS**4.020 ESTABLISHMENT OF COMMERCIAL AND INDUSTRIAL ZONING DISTRICTS.**

In order to regulate and segregate the uses of lands and buildings and to regulate the density of development, the following commercial and industrial zoning districts are created:

(7) IP – INDUSTRIAL PARK DISTRICT. *The IP district is intended primarily for light manufacturing, high-tech, research and development, institutions, and offices in a quality environment. Uses are characterized by attractive building architecture and landscaped yards and streetscapes, and the absence of objectionable external effects. The district is designed for industrial and business parks containing offices together with clean, non-polluting industries. IP is located along or near highly visible corridors to provide a positive image and a transition to residential or natural areas from heavier industrial uses.*

4.030 SPECIAL PURPOSE DISTRICTS.

Special purpose districts are overlay districts that may be combined with a major zoning district. The regulations of a special purpose district are supplementary to the regulations of the underlying major zoning district. The regulations of a special purpose district and the major zoning district shall both apply to any site that has both designations. Where the regulations and permitted uses of a major zoning district conflict with those of a special purpose district, the more restrictive standards shall apply. The special purpose districts and the additional regulations that apply in such districts are summarized below:

SPECIAL PURPOSE DISTRICT	APPLICABLE ARTICLES
Wetlands	Article 6

RESPONSE

The subject site carries the IP-Industrial Park zoning designation and is located within the Local Wetland Inventory overlay district. The applicant is requesting approval to expand NW Natural's service yard to build new storage buildings within the Local Wetland overlay zone. The applicant has provided notice to DSL and has received approval. Therefore, this criterion has been met. See Exhibit F.

SCHEDULE OF PERMITTED USES

4.040 INTERPRETATION.

Each use category in the schedule of permitted uses is described in Article 22, Use Categories and Definitions. Article 22 classifies land uses and activities into categories based on common functional, product, or physical characteristics. Characteristics include the type and amount of activity, the type of customers or residents, how goods and services are sold or delivered, and certain site factors. In addition to the clarification in Article 22, the following provisions shall be used to interpret the schedule of permitted.

4.050 SCHEDULE OF PERMITTED USES.

Y Yes; use allowed without review procedures but may be subject to special conditions.

S Use permitted that requires a site plan approval prior to the development or occupancy of the site or building.

TABLE 4.050-1

<u>Use Category</u>	<u>IP Zoning District</u>
INDUSTRIAL USE CATEGORIES	
Contractors and Industrial Services	S-1
OTHER USE CATEGORIES	
Non-Residential Accessory Buildings	Y

SPECIAL CONDITIONS

4.060 GENERAL.

Where numbers appear in the "Special Conditions" column or in a particular cell in the Schedule of Permitted Uses, the corresponding numbered conditions below shall apply to the particular use category as additional clarification or restriction:

(1) Contractors and Industrial Services in the IP zone, purposed use is allowed.

RESPONSE

The applicant is requesting approval to expand NW Natural's service yard to build new storage buildings with the provisions of the City of Albany Development Code. The proposed storage buildings are allowed and classified as non-residential accessory structures to the current use.

Therefore, this criterion has been met.

DEVELOPMENT STANDARDS

4.090 PURPOSE.

Development standards are intended to promote site planning and design that consider the natural environment, site intensity, building mass, and open space. The standards also promote energy conservation, needed privacy, and improve the general living environment and economic life of a development. Table 4.090-1, on the following page, summarizes the basic development standards. It should be used in conjunction with the sections immediately succeeding the table, which address special circumstances and exceptions. See Article 8 for design standards for single-dwelling, middle housing, and multiple-dwelling developments.

TABLE 4.090-1 COMMERCIAL AND INDUSTRIAL DISTRICT DEVELOPMENT STANDARDS - IP

Standard	Requirement	Provided
Minimum Lot Size	3 acres	5 acres
Minimum Lot Width / Lot Depth	None	NA
Minimum Front Setback	15 ft	15 ft
Minimum Interior Setbacks-abutting non-residential	15 ft	15 ft / 25 ft
Maximum Building Size	None	N/A
Maximum Lot Size	None	N/A
Maximum Building Height	50 ft	29 ft – 6 inches
Maximum Lot Coverage	80%	62.9%
Maximum Landscaped Area	100%	37.1%
Maximum Open Space	N/A	N/A

SETBACKS

4.100 MINIMUM STANDARDS.

In addition to the setbacks in this Article, all development must comply with [Section 12.180, Clear Vision Area.](#)

4.220 PARKING RESTRICTIONS IN SETBACK AREAS.

Parking and loading spaces must not be located in a required front or interior setback.

4.260 OFF-STREET PARKING AND LOADING REQUIREMENTS.

See Article 9

LANDSCAPING

4.270 GENERAL.

See Article 9, Section 9.140

RESPONSE

The existing development and subject service yard expansion complies with the applicable Clear Vision Area, parking restrictions in setback areas and off-street parking standards for the Commercial and Industrial District in the IP – Industrial Park zoning district. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

BUFFERING AND SCREENING

4.280 GENERAL.

See Article 9, Sections 9.210 through 9.270

OUTSIDE STORAGE

4.290 GENERAL.

(1) IP zoning districts, outside storage or display of materials, junk, parts, or merchandise is not permitted, except for automobile sales (where allowed).

4.300 SCREENING OF REFUSE CONTAINERS.

Any refuse container that would otherwise be visible from a public street, customer area, any public facility, must be screened from view by placement of a sight-obscuring fence, wall, or hedge at least 6 ft tall. All refuse materials must be contained within the screened area. Refuse areas may not be located in required setbacks or buffer yards. See Section, 9.385 Standards. Screening.

RESPONSE

The subject service yard expansion complies with the Buffering and Screening of outside refuse containers. See Article 9 for additional information.

ARTICLE 6 NATURAL RESOURCE DISTRICTS**6.010 OVERVIEW.**

The natural resource districts are intended to protect valuable natural resources within the City of Albany while allowing reasonable economic use of property. The Open Space zoning district is a base zone that specifies allowed land uses adjacent to some water resources in Albany. The Natural Resource overlay districts address development activities within specific natural resource areas and are applied over a base zone. The overlay district requirements are in addition to the requirements of the base zone and other City of Albany ordinances.

The following zoning and overlay districts are included in this article:

- *Significant Natural Resource Overlay Districts*
- *Significant Wetland Overlay (/SW)*

SIGNIFICANT NATURAL RESOURCE OVERLAY DISTRICTS**6.260 OVERVIEW.**

The Significant Natural Resource overlay districts include Significant Wetlands (/SW). City Requirement: Since it is local wetlands, submit DSL letter with Application. Must comply with DSL requirements.

- *Albany Native Plant List*

6.270 PURPOSE AND INTENT.

B. Significant Wetland overlay district (/SW): To protect and enhance the integrity, function and value of Albany's significant wetlands. There is a small number of isolated significant wetlands. The higher quality isolated wetlands will be regulated locally (as indicated in the Citywide ESEE Analysis); and the lower quality isolated wetlands will not be regulated locally, but must comply with state and federal wetland regulations.

6.280 LANDS TO WHICH THESE REGULATIONS APPLY.

The procedures and requirements of this section apply only to property that is within a Significant Natural Resource Overlay District.

B. Significant Wetland Overlay district (/SW): The Significant Wetland overlay district is comprised of the wetlands associated with riparian corridors, and higher quality isolated significant wetlands, in the City's Local Wetland Inventory (LWI), and as amended through wetland delineations approved by DSL and the ACE, if applicable. Notice to, and potentially permits from, DSL and ACE are still required for potential impact to all wetlands regulated by DSL or ACE.

6.310 NATIONAL RESOURCE IMPACT REVIEW STANDARDS.

A. General Requirements for Significant Natural Resource overlay districts. A proposed activity will not be approved unless all of the following are true: Items 1-6.

B. Additional Requirements, Limitations, and Exceptions for Specific Activities in Significant Wetland overlay districts. In addition to the general requirements listed above, the following requirements, limitations, and exceptions apply to development activities within the Riparian Corridor and Significant Wetland overlay districts.

2) Structures and Land Altering Activities. The placement of structures and other impervious surfaces, as well as grading, excavation, placement of fill, and vegetation removal, are prohibited. Exceptions may be made for the purposes identified in items a-f of this Section, provided they are necessary to accommodate an approved activity and comply with any stated requirements for the activity or use.

6.400 MITIGATION STANDARDS.

Mitigation is a way of compensating for adverse impacts to the functions and values of natural resources caused by development. In many cases, mitigation may result in resource area restoration or enhancement. If a State or Federal agency has jurisdiction regarding development impacts within the Significant Wetland overlay district, and they require mitigation for those impacts, the City will not impose additional mitigation requirements over the same area.

RESPONSE

There is Local Wetland Inventory on the property, which requires a notice of DSL at the time of application. A natural resource impact review through the city is not required. The applicant has provided notification of development to DSL, the applicant has received approval to develop subject land area. Therefore, this criterion has been met. See Exhibit F for DSL notification and approval letter.

ARTICLE 8 DESIGN STANDARDS

8.000 OVERVIEW.

The purpose of this Article is to establish additional standards for certain uses. These standards are intended to reduce adverse effects on surrounding property owners and the general public, to create a business environment that is safe and comfortable, to further energy conservation efforts within the City, to enhance the environment for walking, cycling, and mass transit use, and to ensure that high-quality development is maintained throughout Albany.

COMMERCIAL AND INSTITUTIONAL SITE DESIGN

8.310 PURPOSE.

These sections are intended to set threshold standards for quality design in commercial development and in non-residential components of mixed-use development. Good design results in buildings that are visually compatible with one another and adjacent neighborhoods and contribute to an attractive, active, and safe built environment that facilitates easy pedestrian movement and a rich mixture of land uses.

8.315 APPLICABILITY.

These standards apply to the expansion of existing developments. Applicable for mixed-use development. Commercial Office Use and Accessory Use.

8.330 ENTRANCE ORIENTATION AND PARKING LOCATION.

These standards apply to new buildings (excluding accessory buildings) in zoning districts.

(2) Parking Location. Off-street parking must be located to the side or rear of the building(s) and not between the building and the street, except where the applicant demonstrates that one or more of the situations listed in (a)-(e) below applies and the buffer standard in subsection (3) is met (see Figure 8.330-1).

(3) *Parking Lot Buffer.* Where a landscape buffer is required pursuant to subsection (2), a minimum 10-foot-wide landscape buffer meeting the landscaping standards in ADC 9.240 must be placed between the parking area and the street, running the length of the parking area. In zoning districts that require a landscaped front setback, the parking lot buffer requirement may be met by the required front setback standard if landscape plantings are provided at the same or greater density.

8.345 FAÇADE DESIGN, ARTICULATION, AND WINDOWS.

These standards apply to new buildings (excluding accessory buildings).

8.390 COMPATIBILITY STANDARDS.

Attention to detail can significantly increase the compatibility of commercial and institutional development with adjacent uses. Commercial and institutional development shall be designed to comply with the following compatibility standards and any other improvements needed to reduce negative impacts on adjacent uses:

(1) *On site impacts.* Any undesirable impacts produced on the site, such as noise, glare, odors, dust, or vibrations have been adequately screened from adjacent properties.

(2) *Off-site impacts.* The site is protected from any undesirable impacts that are generated on abutting properties.

(3) *Screening.* Service areas, equipment, utilities, and similar exterior improvements shall be screened as provided in (a) through (c) below and must meet the standards in (d).

(a) *Service areas, such as waste and recycling containers, outdoor storage, and ground-level mechanical equipment shall be screened by a sight-obscuring fence, wall, or hedge.*

(b) *Roof-mounted equipment or utilities shall be screened by a parapet wall or sight-obscuring structure or located so that it is not visible from abutting public rights-of-way.*

(c) *Wall-mounted equipment or utilities shall be architecturally incorporated into the building or shall be screened by a sight-obscuring fence, wall, hedge, or structure.*

(d) *Screening required in subsections (a) through (c) above must be of appropriate height and width so that the item to be screened is not visible from a public sidewalk or from abutting residential districts or development. Hedge screens must be composed of evergreen shrubs that will grow to form a continuous hedge that is sight-obscuring within two years of planting.*

RESPONSE

The existing development and proposed development comply with the Commercial and Institutional Site Design standards. The subject service yard expansion does not propose to add new parking, it consists of new non-residential accessory buildings, new perimeter fencing, and associated drive aisles. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

ARTICLE 9 ON-SITE DEVELOPMENT AND ENVIRONMENTAL STANDARDS

9.010 OVERVIEW.

The City of Albany has established standards for on-site improvements and environmental protection. These standards are intended to foster high-quality development throughout the City and to minimize adverse effects on surrounding property owners or the general public. These standards are intended to create an urban environment that is safe, provides connectivity, furthers energy conservation, and enhances the environment for walking, cycling, and mass transit use. This article contains the following standards:

- *Landscaping*
- *Buffering and Screening**
- *Fences*

OFF-STREET PARKING AND LOADING

9.020 SPACE REQUIREMENTS.

Off-street parking and loading must be developed in accordance with the standards in this Article.

(1) Calculating Floor Area for Maximum Parking. The area measured is the combined floor area of each level of a building exclusive of vent shafts, courtyards, stairwells, elevator shafts, restrooms, storage rooms and rooms designed and used for the purpose of storage and operation of maintenance equipment and covered or enclosed parking areas.

(9) Maximum Parking. Parking provided in all other zoning districts must not exceed 30 percent above the maximum parking limits in Table 9.020-1.

b) Exemptions to Maximum Parking Allowance. The following types of parking do not count toward the maximum amount of parking allowed on a site. This exemption applies only to the quantity requirements in Table 9.020-1 and not to other requirements of this Article. The City may impose conditions to ensure that parking spaces associated with these parking types are appropriately identified and used for their intended purpose.

v. Fleet and company vehicle parking.*

TABLE 9.020-1 MAXIMUM PARKING STANDARDS

<u>Use</u>	<u>Maximum Permitted</u>
INDUSTRIAL USE CATEGORIES	
Contractors and Industrial Services	1 per 1.25 employees plus 1 per company vehicle

RESPONSE

The development provides (49) staff parking spaces and (33) fleet company vehicle parking spaces.

CALCULATION

30 full-time employees x 1.25 =

38 maximum permitted staff parking spaces

(30% x 38) = plus 11

49 staff parking spaces are provided (3 ADA parking spaced included in count above)

Plus 1 per company vehicle

30 maximum permitted fleet company vehicles spaces

26 fleet company vehicle spaces are provided

7 fleet truck + trailer drive through parking spaces are provided

***Fleet and company vehicle parking is exempt per ADC 9.020 (9) b)**

Staff parking spaces are not proposed to be altered with this application.

1 drive through parking space was removed to accommodate stripped aisle in between parking spaces.

Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

9.030 BICYCLE PARKING.

Bicycle parking must be provided in the amounts specified in Table 9.030-1 for all new development and changes of use.

TABLE 9.030-1 BICYCLE PARKING STANDARDS

Use	Required Bicycle Parking
INDUSTRIAL USES	
Contractors and Industrial Services	<i>The greater of 2 spaces, or 0.20 space per 1,000 square feet of sales floor area</i>

RESPONSE

The subject property provides (2) existing bicycle parking spaces – 1 bike rack.

CALCULATION

$$11,340 \text{ SF} / 1,000 = 11.34 \times .20 = 2.268$$

3 bicycle parking spaces are required.

4 bicycle parking spaces are provided.

Based on calculation, one additional bicycle parking space is required. 1 new bike rack is proposed to bring development into conformance. See ADC 2.330 (5) b). Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

9.035 CARPOOL/VANPOOL SPACES.**RESPONSE**

See ADC 2.330 (5) b). Therefore, this criterion does not apply.

9.050 ELECTRIC VEHICLE CHARGING CAPACITY.**RESPONSE**

See ADC 2.330 (5) b). Therefore, this criterion does not apply.

9.080 PARKING PLAN.**RESPONSE**

The subject application proposes a service yard expansion located along the most southern portion of the site consisting of non-residential accessory use buildings and associated paved drive-isles. The expansion does not propose to alter the existing staff parking count. A Site Plan showing parking has been provided. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

9.100 PARKING AREA IMPROVEMENT STANDARDS.

All public or private parking areas, loading areas and outdoor vehicle sales areas must be improved based on the following standards. When the total surface parking area for the development site exceeds 10,890 square feet, parking area improvements must comply with the standards in Section 9.135.

(4) Drainage.

(5) Perimeter Curb.

(6) Wheel Bumper.

(10) Parking Lot Landscaping. Parking lots over 1,000 square feet (contiguous) shall be landscaped according to the standards in Section 9.150.

(13) Lighting. Any lights provided to illuminate any public or private parking area or vehicle sales area must be arranged to reflect the light away from any abutting or adjacent properties. Any light source or lamp that emits

more than 900 lumens (15-watt fluorescent / LED or 60-watt incandescent) shall be concealed or shielded with an Illumination Engineering Society of North America (IESNA) full cut-off style fixture with an angle not exceeding 90 degrees to minimize the potential for glare and unnecessary diffusion on adjacent property. Examples of shielded light fixtures are shown in figure 9.100-1.

RESPONSE

The subject application proposes a service yard expansion located along the most southern portion of the site consisting of non-residential accessory use buildings, associated paved drive-ises, perimeter curb, light poles and perimeter security fencing. The service yard expansion does not propose to add parking area. A Site Plan showing parking has been provided. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set and Exhibit C, Lighting Cutsheets.

9.120 OFF-STREET PARKING LOT DESIGN AND CIRCULATION.

The standards of this section are intended to ensure that on-site vehicle circulation is clearly identifiable, safe, and pedestrian-friendly.

(1) Applicability. All off-street parking lots over 1,000 square feet (contiguous) must be designed in accordance with the standards in this Article and the City standards for parking stalls and drive aisles as set forth in Table 9.120-1: Parking Lot Design and supplemental drawings in Figures 1 and 2.

(2) Driveways and Drive Aisles. As used in this Article, driveways are major travel routes through a site that provide access to and from surrounding streets and connections through the site to buildings and parking lot drive aisles. Drive aisles primarily provide vehicular access to bordering parking spaces. See Figure 9.120-1.

(4) Minimum Driveway and Drive Aisle Widths. Driveways for two-way traffic and emergency vehicle operations must be at least 24 feet wide. One-way driveways and one-way emergency vehicle access must be at least 20 feet wide. Drive aisle dimensions must comply with the standards in Table 9.120-1.

(5) Parking Lot Design. Parking stall and aisle dimensions must comply with Table 9.120-1. Stall dimensions are measured from inside the stripes. The design of driveways and on-site maneuvering and loading areas for commercial and **industrial developments shall include 20 feet of storage length for entering and exiting vehicles**, to prevent vehicles from backing into the flow of traffic on the public street or causing unsafe conflicts with on-site circulation. See also Figures 9.120-1 and 9.120-2.

9.130 SURFACE PARKING AREAS.

The purpose of these standards is to ensure that walkways and landscaping are incorporated into parking lot design in a manner that is both attractive and easy to maintain, that minimizes the visual impact of surface parking, and that improves environmental and climate impacts (Figure 9.130-1). These standards are also intended to help ensure pedestrian safety and comfort within large parking lots.

(1) Applicability. In addition to other provisions of Article 9, the following standards apply to new or improved surface parking areas of more than 0.25 acres (10,890 square feet), when existing parking areas are enlarged to more than 10,890 square feet, and when re-construction of a surface parking area of more than 0.25 acres is proposed (i.e., when pavement, curbs, and planter bays are completely replaced). Total surface parking areas are calculated by measuring around the perimeter of all parking spaces, maneuvering areas, and interior landscaping.

RESPONSE

The subject application proposes a service yard expansion located along the most southern portion of the site consisting of non-residential accessory use buildings and associated paved drive-ises. The associated paved drive-ises are at least 24 feet wide and on-site vehicle circulation is clearly identifiable, safe, and pedestrian friendly.

The existing off-street parking lot design and circulation, driveways and drive aisles, minimum driveway and drive aisle widths, parking lot design and surface parking areas follow the current zoning criteria. The service

yard expansion does not propose to add parking area. A new site entry vehicle rolling gate and person gate is proposed at the northeast driveway entrance to the site. Additionally, a new pedestrian striped crossing connection is proposed at the existing sidewalk leading from the public right of way to the building. The vehicle rolling gate provides 20 feet of storage length for entering and exiting of vehicles. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

LANDSCAPING

9.135 PURPOSE.

These regulations are intended to enhance aesthetic value in new developments and the community as a whole; minimize erosion; slow the rate of surface water runoff and improve water quality; cool buildings and parking lots in summer months with shade; enhance ecological functions; and provide access to nature.

9.140 GENERAL REQUIREMENTS.

Landscaping requirements by type of use are listed below:

(2) Landscaping Required – Non- Residential. All required front and interior setbacks (exclusive of accessways and other permitted intrusions) must be landscaped or have landscaping guaranteed in accordance with ADC 9.190 before an occupancy permit will be issued. Minimum landscaping acceptable for every 1,000 square feet of required setbacks in all commercial-industrial districts is as follows:

(b) Five 5-gallon or eight 1-gallon shrubs, trees or accent plants.

(c) The remaining area treated with suitable living ground cover, lawn, or decorative treatment of bark, rock, or other attractive ground cover.

(d) When the yard adjacent to a street of an industrially zoned property is across a right-of-way from other industrially or commercially zoned property, only 30 percent of such setback area must be landscaped.

9.150 PARKING LOT LANDSCAPING.

The purpose of landscaping in parking lots is to provide shade, reduce stormwater runoff, and direct traffic. Incorporation of approved vegetated post-construction stormwater quality facilities in landscaped areas is encouraged. Parking lots over 1,000 square feet (contiguous) must be landscaped in accordance with the following minimum standards. Parking lots over 10,890 square feet must also comply with the standards in 9.130.

(1) Planter Bays. Parking areas shall be divided into bays of not more than 12 parking spaces. At both ends of each parking bay, there shall be curbed planters at least six feet wide, excluding the curb. Gaps in the curb may be allowed for connections to approved post-construction stormwater quality facilities. Each planter shall contain one canopy tree at least 10 feet high and decorative ground cover containing at least two shrubs for every 100 square feet of landscape area. Neither planter bays nor their contents may impede access on required public sidewalks or paths, or handicapped-accessible parking spaces.

(4) Stormwater Collection System. Vegetated post-construction stormwater quality facilities shall be considered as the initial stormwater collection system.

9.165 IRRIGATION OF REQUIRED LANDSCAPING.

All required landscaped areas must be provided with an irrigation system unless a licensed landscape architect, landscape construction professional, or certified nurseryman submits written verification that the proposed plants do not require irrigation. Irrigation systems installed in the public right-of-way require an encroachment permit.

9.170 IDENTIFICATION OF EXISTING TREES.

In all proposed developments, existing trees over 25 inches in circumference (8 inches in diameter) as measured 4.5 feet above mean ground level from the base of the trunk shall be noted on all development plans, with

notations indicating whether they are to be removed or utilized in the development. To obtain the circumference of a tree with multiple trunks, add the individual trunk circumferences, which are greater than six inches in circumference. Clusters of trees in open space and floodplain areas may be noted in approximate locations.

9.180 LANDSCAPE PLANS.

With the exceptions noted below, all development applications involving buildings and parking areas over 1,000 square feet (contiguous) must include landscape plans. The following uses are required to meet the landscaping requirements of this code but are not required to submit landscape plans:

(2) Accessory buildings.

RESPONSE

The subject application proposes a service yard expansion located along the most southern portion of the site consisting of non-residential accessory use buildings and associated paved drive-isles. Landscaping has been provided to comply with the applicable Landscaping standards Section within the building setback / Public Utility Easement areas and proposed Stormwater Facility. All new landscaped areas shall be watered with an automatic irrigation system or hand-watered for required establishment period. See Exhibit B, Architectural Drawing Set, Landscape Plans.

BUFFERING AND SCREEING

9.208 PURPOSE.

These regulations provide screening and buffering between uses in order to reduce the potential objectionable impacts of higher intensity uses on adjacent lower intensity uses. These impacts include, but are not limited to, light pollution and glare, noise, visual impacts, and loss of privacy.

9.255 SCREENING OF REFUSE CONTAINERS.

The following standards apply to all developments Any refuse container or disposal area that would otherwise be visible from a public street, customer or resident parking area, any public facility, or any residential area, must be screened from view by placement of a sight-obscuring fence, wall, or hedge at least 6 feet tall. Refuse disposal areas may not be located in required setback areas or buffer yards and must be contained within the screened area.

TABLE 9.210-1 BUFFER AND SCREENING MATRIX

Buffer Matrix	Proposed Use
ABUTTING USE OR ZONING DISTRICT	INDUSTRIAL PARK USE
Industrial Park Use	0'
Any Parking Lot with at least 5 spaces	0'

RESPONSE

The subject application proposes a refuse receptacle enclosure within the service yard, located adjacent to the existing parking landscape planter. A 7-foot-high black PVC coated steel chainlink fence with black privacy slats is proposed for the refuse enclosure. Additionally, a new 5-foot-high landscape screen is proposed on the back side of the refuse enclosure. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

FENCES

9.360 PURPOSE.

Fences can create a sense of privacy, protect children and pets, provide separation from busy streets, and enhance the appearance of property. The negative effects of fences can include the creation of street walls that inhibit police and community surveillance, decrease the sense of community, hinder emergency access, lessen solar

access, hinder the safe movement of pedestrians and vehicles, and create an unattractive appearance. These standards are intended to promote the positive aspects of fences and to limit the negative ones.

9.370 MATERIALS.

Fences and walls shall not be constructed of or contain any material that will do bodily harm, such as electric or barbed wire, broken glass, spikes, or any other hazardous or dangerous materials, except as follows:

(1) Barbed wire is permitted on top of a six-foot-tall fence in industrial. The total height of the fence and barbed wire is limited to 8 feet. Barbed-wire-only fences are prohibited except as allowed under subsection (2).

9.380 STANDARDS.

Fences and walls shall meet the following standards. If a fence or wall is used to meet required screening, it shall meet the provisions of Section 9.385.

STANDARDS IN COMMERCIAL, INDUSTRIAL, ZONES:

(4) Fences in front setbacks. Fences shall be no taller than 6 feet in required front setbacks. 6-foot fences containing barbed wire on top or fences taller than 6 feet are not permitted in the front setback.

STANDARDS FOR ALL FENCES:

(6) In no instance or zone shall a fence exceed eight feet except when permitted in 9.370. Fences over six feet tall shall meet building setbacks, except when permitted along property lines in Sections 9.370(4)(d) or permitted in required setbacks in 9.380(3)(a).

(9) Measuring Fence Height. Fence height shall be measured from the average height of the grade adjacent to where the fence is to be located. If a fence is to be constructed on top of a berm, the height shall be measured from the bottom of the berm. Fence height includes the height of the fence, wall, or picket and does not include the posts, or arbors and trellises at entrance gates.

9.385 SCREENING. Whenever a sight-obscuring fence, wall or hedge is required under the provisions of this Code, it must meet the following provisions and the vision clearance standards in Section 12.180:

(1) Opacity. In order to be "sight-obscuring," fences and walls must be at least 75 percent opaque when viewed from any angle at a point 25 feet away from the fence or wall. Hedges must be an evergreen species that will meet the standards year-round within two years of planting.

(2) Height. Fences and walls will be a minimum of 6 feet tall. Hedges will be of a species capable of attaining a height of at least six feet within two years of planting, given their age, height, and health when planted.

(3) Maintenance. Fences and walls will be maintained in safe condition and opacity is maintained as required in subsection (a) of this section. Wooden materials will be protected from rot, decay, and insect infestation. Plants forming hedges will be replaced within six months after dying or becoming diseased to the point that the opacity required in subsection (a) of this section is not met.

RESPONSE

The subject application proposes a new 8-foot-high perimeter security fence for the entire site. The fence consists of a 7-foot-high galvanized chainlink fence with 3-strands of barbed wire 1-foot-high on top. The 8-foot-high perimeter fence is located along the western and southern portion of the site, it is inset from the property line to meet building setback requirements. The 8-foot-high perimeter fence located along the northern portion of the site is inset to meet setback requirements and the fence located along the eastern portion replaces an existing shorter fence that is also inset to meet building setback requirements. Additionally, a new rolling gate and person gate is proposed at the northeast driveway entrance to the site. A Site Plan showing the proposed fencing has been provided. Therefore, this criterion has been met. See Exhibit B, Architectural Drawing Set.

ARTICLE 12 PUBLIC IMPROVEMENTS

12.000 OVERVIEW.

This article provides public improvement standards to address the City's concerns relative to public health, safety, and welfare as it relates to the management of public transportation systems and utilities. These standards are used with the procedural and design requirements contained in other articles of the Albany Development Code.

RESPONSE

The subject application proposes a service yard expansion located along the most southern portion of the site consisting of non-residential accessory use buildings and associated paved drive-isles. The existing site development already incorporates public improvements. Thus, the proposed development is not subject to Public Improvements. Therefore, this criterion is not applicable.

Conclusion

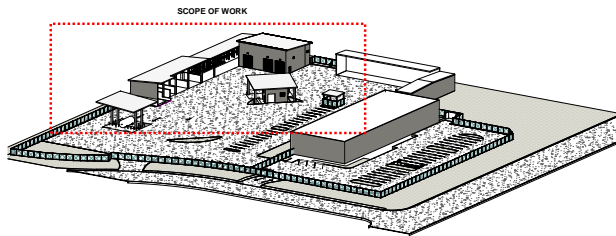
The above narrative and the attached exhibits set forth evidence meeting all applicable standards and requirements set forth in the Albany Development Code Articles. Approval of the application will allow the Applicant to construct a well-designed project. The Applicant therefore respectfully requests approval of the subject Site Plan Review application.

NWN ALBANY SERVICE YARD EXPANSION

7150 SW SUPRA DRIVE, ALBANY, OR



VICINITY MAP



DRAWING INDEX

CS	COVER SHEET
<u>CIVIL</u>	
C1	WATER AND WASTEWATER PLAN
C2	STORM AND GRADING PLAN
<u>LANDSCAPE</u>	
L1.0	LANDSCAPE SITE PLAN
L2.0	LANDSCAPE PLANTING PLAN
<u>ARCHITECTURE</u>	
A2	EXISTING SITE PLAN
A3	PROPOSED SITE PLAN
A4	EXTERIOR ELEVATIONS
A5	EXTERIOR ELEVATIONS
A6	EXTERIOR ELEVATIONS

PROJECT DESCRIPTION

NW NATURAL IS A NATURAL GAS UTILITY. THE COMPANY PROVIDES CONSTRUCTION AND EMERGENCY SERVICES TO THE COMMUNITY. THE RESOURCE CENTER IS NOT OPEN TO CUSTOMERS OR THE PUBLIC. IT IS A COMMUNICATIONS AND DISPATCH CENTER FOR EMERGENCY GAS LINE REPAIR RESPONSE CREWS, INFRASTRUCTURE MAINTENANCE, ALONG WITH THE FLEET VEHICLE AND MATERIALS STORAGE NEEDED FOR THAT PURPOSE. TO PROVIDE BETTER RESPONSE TO THE COMMUNITIES, IT IS IN THE PROCESS OF UPGRADING THEIR EXISTING FACILITY INFRASTRUCTURE TO MEET "CRITICAL INFRASTRUCTURE BUSINESS UTILITY" LEVEL. TO BE ABLE TO PROVIDE CRITICAL SERVICES TO THE COMMUNITY, NWN PROPOSES TO EXPAND THEIR SERVICE YARD TO INCLUDE CRITICAL OPERATIONAL INFRASTRUCTURE TO BETTER SUPPORT THE COMMUNITY. THE PROJECT PROPOSES EXPANSION OF THE SERVICE YARD AND SEISMIC UPGRADES TO THE EXISTING OFFICE BUILDING. THE SERVICE YARD EXPANSION IS APPROXIMATELY 45,166 SF, INCLUDING ASSOCIATED PAVED DRIVE-ISLES, PERIMETER CURB, LIGHT POLES AND NEW PERIMETER SECURITY FENCING. THE SERVICE YARD EXPANSION INCLUDES THE FOLLOWING NEW SITE STRUCTURES:

- PIPE STORAGE 3-SIDED OPEN SHED (3,400 SF)
- COVERED SPOILS BINS 3-SIDED OPEN SHED (2,800 SF)
- FUELING TANK ISLAND WITH CANOPY (2,300 SF)
- ENCLOSED VEHICLE STORAGE GARAGE + RESTROOM (2,800 SF)
- TRUCK WASH PAD / TRUCK WASH EQUIPMENT ROOM (1,660 SF)
- TRASH ENCLOSURE (258 SF)
- TRUCK SCALE

ALL PROPOSED BUILDINGS WILL BE CONSTRUCTED WITH PRE-ENGINEERED METAL BUILDING (PEMB) STRUCTURES.

SITE DATA

ZONE:	IP - INDUSTRIAL PARK / USE: OFFICE & STORAGE
ACCESSOR'S MAP:	11S04W25
TAX LOT:	01302
SITE AREA:	TOTAL SITE AREA: 217,800 SF / 5 ACRES EXISTING DEVELOPED SITE AREA: 172,498 SF / 3.96 ACRES PROPOSED SERVICE YARD EXPANSION: 45,166 SF / 1.04 ACRES
BUILDING SET BACK:	MIN FRONT SET BACK 15 FT MIN INTERIOR SET BACKS-ABUTTING NON-RESIDENTIAL 15 FT
OCCUPANCY:	B, S-1, A-3
BUILDING TYPE:	EXISTING BUILDINGS: TYPE II B (NON-SPRINKLERED) PROPOSED BUILDINGS: TYPE V B (NON-SPRINKLERED)
APPLICANT:	LRS ARCHITECTS: MARY FIERROS BOWER 720 NW DAVIS ST. #300 PORTLAND, OREGON 97209 MFIERROS@LRSARCHITECTS.COM 503.265.1572
OWNER:	NW NATURAL GAS CO.: WAYNE PIPES 250 SW TAYLOR ST PORTLAND, OREGON 97204 WAYNE.PIPES@NWNATURAL.COM 503.705.8999

PARKING

VEHICLE PARKING	
ITEM	COUNT
STAFF PARKING	49
-PER 2021 IBC 1106.1 MIN ADA PARKING REQ : 2	3 - INCLUDED IN STAFF COUNT
FLEET PARKING	26
FLEET DRIVE THROUGH PARKING	7
TOTAL PARKING SPACES (ADA INCLUDED)	82

STAFF PARKING SPACES ARE NOT PROPOSED TO BE ALTERED
1 FLEET DRIVE THROUGH PARKING SPACE WAS REMOVED TO ACCOMMODATE STRIPPED AISLE IN BETWEEN PARKING SPACES

BICYCLE PARKING	
OFFICE	11,340 SF / 1000 ± 11.34 X 20 ± 2.268
3 BICYCLE PARKING SPACES ARE REQUIRED	
EXISTING 1 RACK = 2 SPACES	2
PROPOSED 1 RACK = 2 SPACES	2
TOTAL 4	

LAND USE APPROVALS

THE PROPOSED DEVELOPMENT IS SUBJECT TO A SITE PLAN REVIEW TYPE I-L PROCEDURE AND IS SUBJECT TO A PRE-APPLICATION CONFERENCE. A PRE-APPLICATION CONFERENCE WAS HELD ON APRIL 6, 2022.

PRE-APPLICATION CONFERENCE PR-17-22
PRIOR LAND USE APPROVAL SP-51-05

AREA DESCRIPTION	SQUARE FOOTAGE	COVERAGE % PROVIDED
EXISTING BUILDINGS	17,540 SF	8.2 %
PROPOSED BUILDINGS (26,758 SF TOTAL BUILDINGS)	13,218 SF	6.1 %
EXISTING LANDSCAPE	61,881 SF	37.1 %
PROPOSED LANDSCAPE (88,988 SF TOTAL LANDSCAPE)	18,985 SF	
EXISTING PAVING	85,751 SF	48.6 %
PROPOSED PAVING (106,116 SF TOTAL PAVING)	20,424 SF	
TOTAL SITE	217,800 SF	100 %

MAX LOT COVERAGE ALLOWED: 80%
LOT COVERAGE PROVIDED: 62.9 %

EXISTING BUILDINGS	
OFFICE	11,340 SF
DRIVE-THRU BAY	1,960 SF
STORAGE	4,240 SF

PROPOSED SERVICE YARD EXPANSION SITE BUILDINGS

ENCLOSED VEHICLE STORAGE	2,800 SF
GARAGE + RESTROOM (110 SF)	3,400 SF
PIPE STORAGE	700 SF
SAND & COLD	700 SF
GRAVEL	700 SF
SPOILS	700 SF
DECANT	700 SF
FUELING TANK ISLAND WITH CANOPY	2,300 SF
TRUCK WASH EQUIPMENT ROOM	660 SF
TRUCK WASH PAD WITH CANOPY	1,000 SF
TRASH ENCLOSURE	258 SF
TOTAL PROPOSED:	13,218 SF
BUILDINGS TOTAL:	30,758 SF

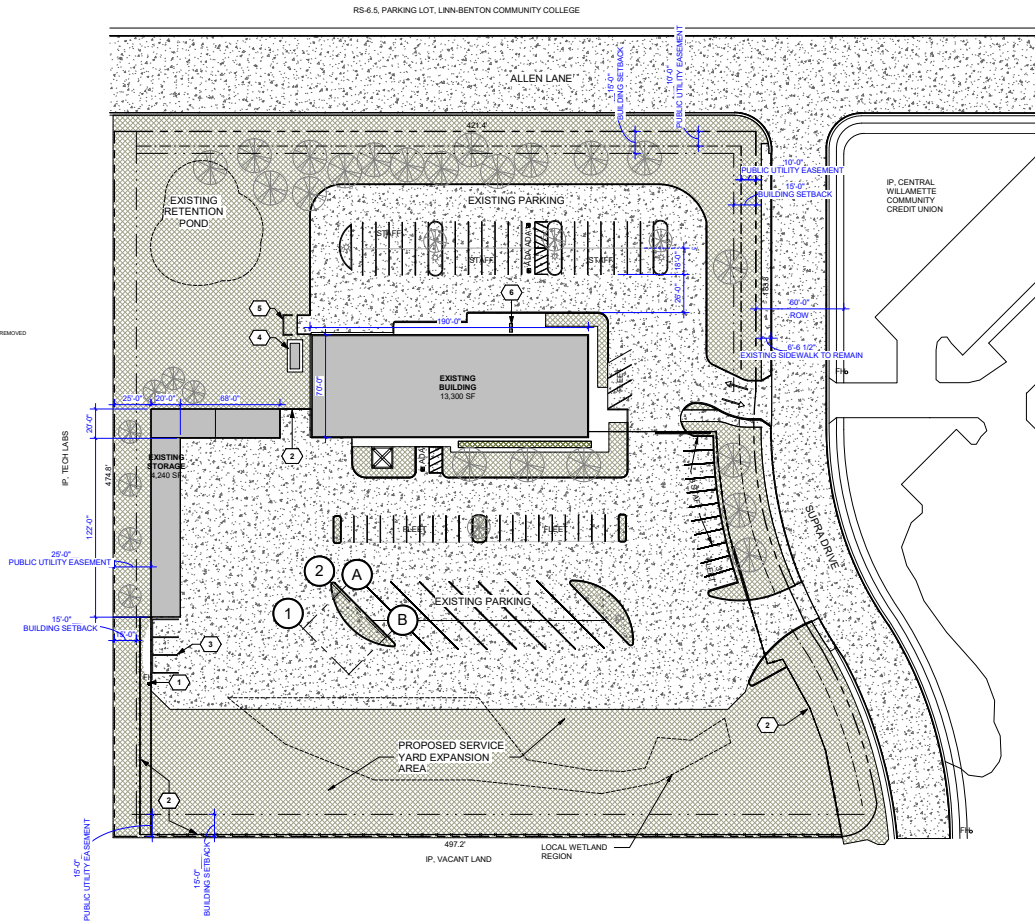
A2 - EXISTING SITE PLAN

KEYNOTES ...

- 1 FIRE HYDRANT TO BE RELOCATED
- 2 EXISTING FENCE TO BE REMOVED
- 3 EXISTING OPEN SPOIL BINS TO BE REMOVED
- 4 EXISTING GENERATOR TO REMAIN
- 5 EXISTING TRASH ENCLOSURE TO REMAIN
- 6 EXISTING 1-BIKE RACK TO REMAIN

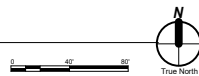
LEGEND:

- SITE EASEMENTS
- SITE SETBACKS
- SITE PROPERTY BOUNDARY
- EXISTING BUILDING
- FIELD DELINEATED WETLAND
- EXISTING 4 FOOT HIGH TALL CHAINLINK FENCE TO BE REMOVED
- EXISTING TREES - TO REMAIN



1. EXISTING SITE PLAN

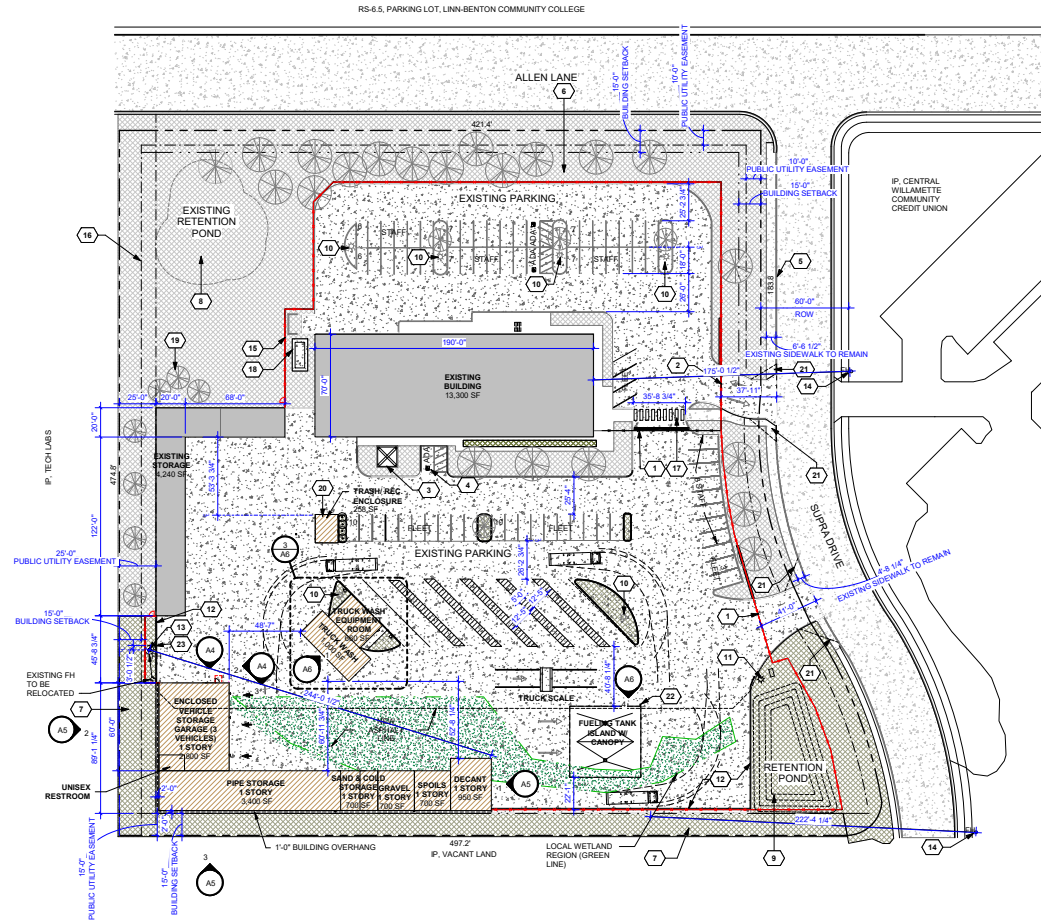
SCALE: 1" = 40'-0"



A3 - CONCEPTUAL SITE PLAN

KEYNOTES

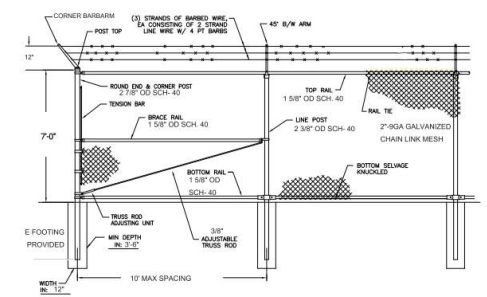
1. MOTORIZED ROLLING CHAIN LINK GATE TO REMAIN
2. MOTORIZED ROLLING CHAIN LINK GATE
3. EXISTING COMMUNICATION TOWER
4. ADA PARKING
5. EXISTING SIDEWALK
6. EXISTING LANDSCAPE AREA
7. PROPOSED LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS
8. EXISTING RETENTION POND & BERM
9. PROPOSED RETENTION POND, SEE CIVIL DRAWINGS
10. EXISTING LIGHT POLES
11. PROPOSED 25 FT TALL LIGHT POLE
12. PROPOSED 6" CURBS
13. RELOCATED FIRE HYDRANT, SEE CIVIL
14. EXISTING FIRE HYDRANTS
15. PROPOSED 8'-2" TALL CHAIN LINK FENCE, SEE DETAIL
16. EASEMENT LINE, SEE CIVIL
17. PROPOSED STRIPPED ASPHALT (PEDESTRIAN CROSSING)
18. EXISTING GENERATOR ON CONCRETE PAD
19. EXISTING TREE, TYP. SEE LANDSCAPE
20. PROPOSED 7'-0" TALL TRASH ENCLOSURE WITH ROOF CANOPY, BLACK PVC COATED STEEL CHAIN LINK FENCE WITH BLACK PRIVACY SLATS
21. VISION TRIANGLE
22. SCALE READER, ATTACHED TO THE WALL, 12" ABOVE GRADE
23. PROVIDE SIGNAGE, NO PARKING OR STORAGE IN FRONT OF FIRE HYDRANT



LEGEND:

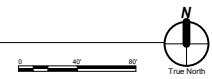
- SITE EASEMENTS
- SITE SETBACKS
- SITE PROPERTY BOUNDARY
- [Hatched Box] PROPOSED BUILDING
- [Solid Box] EXISTING BUILDING
- [Green Dotted Box] FIELD DRAINAGE WETLAND
- [X] EXISTING 6 FOOT TALL CHAIN LINK FENCE
- [X] PROPOSED 7 FOOT TALL GALVANIZED CHAIN LINK FENCE WITH 6 FOOT HIGH STRIPED BARRIER ON TOP
- [Circle with X] EXISTING TREES - TO REMAIN
- [Dashed Box] 1 BMS RACK (2 SPACES) - EXISTING TO REMAIN
PROVIDE 1 ADDITIONAL BMS RACK (2 SPACES) WITH EXISTING REQUIRED 3 - PROVIDED 4

PROPOSED CHAINLINK FENCE



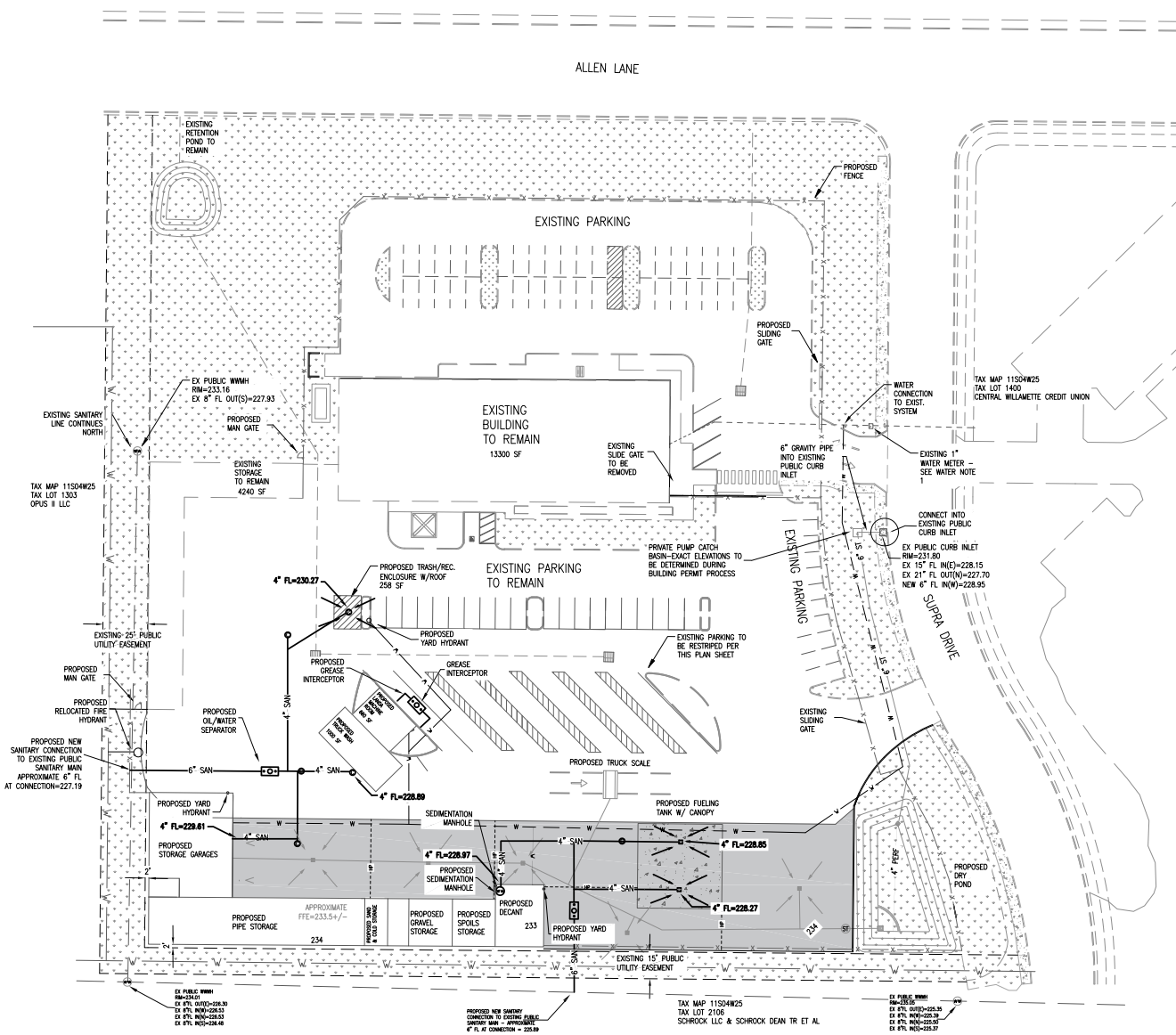
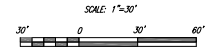
1. PROPOSED SITE PLAN

SCALE: 1" = 40'-0"



WATER AND WASTEWATER PLAN C1

ATTACHMENT C4



WASTEWATER NOTES:

1. IT IS PROPOSED TO INSTALL A NEW SEWER TAP ADJACENT TO THE STORAGE GARAGE TO SERVE THE NEW SEWER BRANCH AS SHOWN.
2. IT IS PROPOSED TO FOLLOW OREGON STATE PLUMBING CODE 2021 EDITION, FINAL WASTEWATER DESIGN TO BE COMPLETED AT TIME OF BUILDING PERMITS.
3. COVERED STRUCTURES SUCH AS THE PROPOSED FUELING AREA, COVERED TRASH ENCLOSURE AND TRUCK WASH STATION ARE PROPOSED TO BE DRAINED INTO THE PROPOSED WASTEWATER SYSTEM. THEY ARE PROPOSED TO BE HYDRAULICALLY ISOLATED SO WATER UNDER THE CANOPIES/ROOFS TO DRAIN INTO THE WASTEWATER SYSTEM, AND STORMWATER RUNOFF FROM PAVING THAT IS NOT COVERED TO BE DRAINED INTO THE STORMWATER SYSTEM. SEE ARCHITECTURAL DRAWINGS FOR EXTENTS OF CANOPIES AND ROOF OVERHANGS.
4. TWO SANITARY CONNECTIONS ARE PROPOSED AS SHOWN DUE TO POTENTIAL PIPE DEPTH ISSUES. FINAL SANITARY DESIGN WILL BE COMPLETED DURING THE BUILDING PERMIT PROCESS.

WATER NOTES:

1. IT IS PROPOSED TO CONNECT INTO EXISTING PRIVATE PIPING ON-SITE AS SHOWN. EXISTING WATER SERVICE MAY REQUIRE UPSIZING. THIS WILL BE DETERMINED DURING THE BUILDING PERMIT PROCESS.
2. ON-SITE IRRIGATION SYSTEM TO BE DESIGNED BY PROJECT LANDSCAPE ARCHITECT.
3. FINAL WATER DESIGN WILL BE COMPLETED AT THE TIME OF BUILDING PERMITS.
4. EXISTING FIRE HYDRANT ADJACENT TO STORAGE GARAGES IS PROPOSED TO BE RE-LOCATED AS SHOWN.
5. EXISTING PRIVATE WATER METER LOCATION IS APPROXIMATED. LOCATION WILL BE DETERMINED DURING BUILDING PERMIT PROCESS.

ELEVATION NOTE:

ALL ELEVATIONS WERE DERIVED VIA GPS OBSERVATIONS ON NAVD83 DATUM. ELEVATIONS SHALL BE VERIFIED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION.

LEGEND

- BOUNDARY LINE
- FOUND MONUMENT
- - - ADJACENT LOT LINE
- - - - - EXISTING 1' CONTOUR LINE
- - - - - EXISTING CURB & GUTTER
- W EXISTING WATER METER AND PIPE
- ⊙ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING STORM DRAINAGE SYSTEM
- ⊕ EXISTING CURB INLET
- ⊕ EXISTING CATCH BASIN
- ⊕ EXISTING STORMWATER CULVERT
- ⊕ EXISTING WASTEWATER SYSTEM
- ⊕ EXISTING OVERHEAD ELECTRIC
- ⊕ EXISTING STREET LIGHT
- ⊕ EXISTING ELECTRIC TRANSFORMER
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING GUY ANCHOR
- ⊕ EXISTING SANITARY SYSTEM
- ⊕ EXISTING SANITARY SYSTEM
- ⊕ EXISTING WASTEWATER SYSTEM
- DRAINAGE FLOW DIRECTION
- MIN 2% SLOPE
- PROPOSED FENCE
- PROPOSED PAVING
- PROPOSED CONCRETE
- HP --- PROPOSED GRADING HIGH POINT

LRS 222002 | Albany Service Yard
ARCHITECTS Expansion 9.21.23



A & O Engineering L.L.C.
CIVIL ENGINEERING & SITE DEVELOPMENT CONSULTING
380 Q ST, SUITE 200
SPRINGFIELD, OR 97477
PHONE: (541) 363-9799
info@a-o-engineer.com

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STORM AND GRADING PLAN C2

ATTACHMENT C5

SCALE: 1"=30'



LEGEND

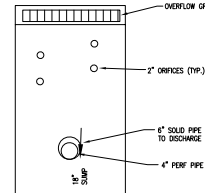
- BOUNDARY LINE
- FOUND MONUMENT
- - - ADJACENT LOT LINE
- - - EXISTING 1' CONTOUR LINE
- - - EXISTING CURB & GUTTER
- W EXISTING WATER METER AND PIPE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING STORM DRAINAGE SYSTEM
- ⊕ EXISTING CURB INLET
- ⊕ EXISTING CATCH BASIN
- 12"ST EXISTING STORMWATER CULVERT
- 4"W EXISTING WASTEWATER SYSTEM
- OHE EXISTING OVERHEAD ELECTRIC
- ⊕ EXISTING STREET LIGHT
- ⊕ EXISTING ELECTRIC TRANSFORMER
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING GUY ANCHOR
- ⊕ 6"ST PROPOSED STORM SYSTEM
- ⊕ 4"W PROPOSED SANITARY SYSTEM
- ⊕ 1" PROPOSED WASTEWATER SYSTEM
- DRAINAGE FLOW DIRECTION
- PROPOSED FENCE
- PROPOSED PAVING
- PROPOSED CONCRETE
- HP --- PROPOSED GRADING HIGH POINT

STORMWATER NOTES:

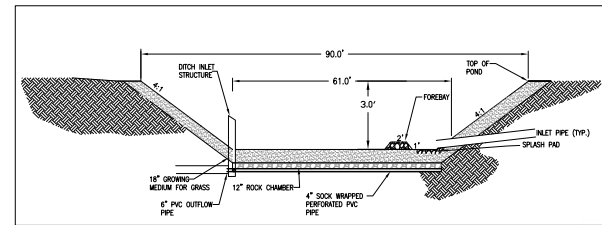
1. PROPOSED STORMWATER DRY POND IS PROPOSED TO BE LANDSCAPED PER CITY OF ALBANY STANDARDS. SEE LANDSCAPE DRAWINGS FOR PROPOSED PLANTINGS.
2. IT IS PROPOSED TO DETAIN AND TREAT STORMWATER RUNOFF FROM NEW IMPROVED SURFACES AS SHOWN AND DISCUSSED IN THE STORMWATER MEMORANDUM. IT IS PROPOSED TO LEAVE THE EXISTING STORMWATER SYSTEM AS CURRENTLY CONSTRUCTED.
3. PIPE SIZING AND FINAL STORMWATER DESIGN TO BE COMPLETED AT TIME OF BUILDING PERMIT DESIGN.
4. WEB SOIL SURVEY LISTS ON-SITE SOILS AS CONCORD SILT LOAM WITH AN HSC RATING OF C/D AND POORLY DRAINED. PER WEB SOIL SURVEY THE INFILTRATION RATES OF NATIVE SOILS ON-SITE ARE ESTIMATED TO BE 0.06 TO 0.20 IN/HR. THEREFORE, INFILTRATION WAS NOT ASSUMED IN THIS ANALYSIS AND AN UNDERDRAIN IS PROPOSED TO BE INSTALLED.
5. IT IS PROPOSED TO DISCHARGE TREATED AND DETAINED STORMWATER RUNOFF FROM THE SITE INTO AN EXISTING PUBLIC CURB INLET IN SUPRA DRIVE.
6. STORMWATER RUNOFF FROM FUELING TANK CANOPY AND NEW STORAGE ROOFS ARE PROPOSED TO BE COLLECTED VIA ROOF DRAIN PIPING AND THEN CONVEYED VIA UNDERGROUND PIPING TO THE PROPOSED DRY POND. FINAL DOWNSPOUT LOCATIONS WILL BE DETERMINED DURING THE BUILDING PERMIT PROCESS.
7. A SUMP DRAIN UNDER THE TRUCK SCALE IS PROPOSED TO DRAIN INTO THE NEW STORMWATER SYSTEM AS SHOWN.
8. CATCH BASINS ARE PROPOSED TO BE SQUARE STEEL CATCH BASINS WITH SUMPS. FINAL DESIGN TO BE COMPLETED DURING THE BUILDING PERMIT PROCESS.
9. A PRIVATELY OWNED AND MAINTAINED PUMP CATCH BASIN IS PROPOSED TO BE INSTALLED AS SHOWN. DISCHARGE FROM THIS BASIN IS PROPOSED TO BE A GRAVITY DISCHARGE 6" INTO THE EXISTING PUBLIC CURB INLET AS SHOWN.

GRADING NOTES:

1. NEW ASPHALT IS PROPOSED TO BE SLOPED TOWARDS PROPOSED CATCH BASINS FOR STORM DRAINAGE. FINAL DESIGN TO BE COMPLETED DURING THE BUILDING PERMIT PROCESS.
2. CONTOURS SHOWN ON-SITE ARE DEPICTING EXISTING ELEVATIONS ON-SITE.
3. PROPOSED COVERED FUELING AREA TO BE GRADED TO BE HYDRAULICALLY ISOLATED AS SHOWN.
4. EXISTING ASPHALT MAY REQUIRE NEW GRADING AND REPLACEMENT AROUND THE PROPOSED TRASH ENCLOSURE AND TRUCK WASH STATION TO NOT DRAIN EXISTING PAVEMENT STORMWATER RUNOFF INTO THE NEW WASTEWATER DRAINS UNDERNEATH THE ENCLOSURES. ANY RE-GRADING REQUIRED WILL BE DETERMINED DURING THE BUILDING PERMIT PROCESS.



DITCH INLET OUTFLOW STRUCTURE N.T.S.

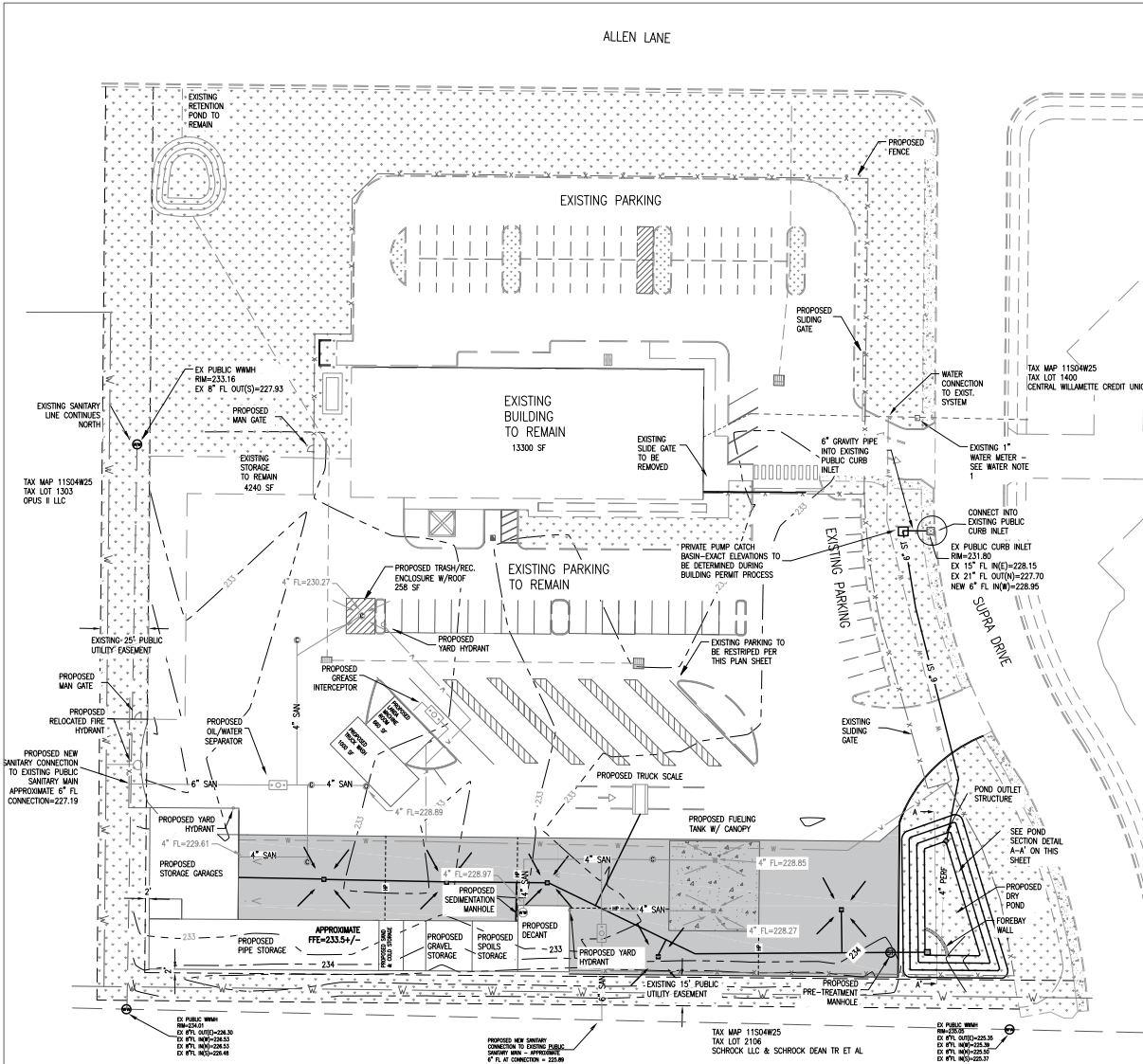


POND CROSS SECTION

A-A' N.T.S.

ELEVATION NOTE:

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CIVIL ENGINEERING & SITE DEVELOPMENT CONSULTING
380 Q ST. SUITE 200
SPRINGFIELD, OR 97477
PHONE: (541) 502-9799
WWW.AOENGINEERING.COM

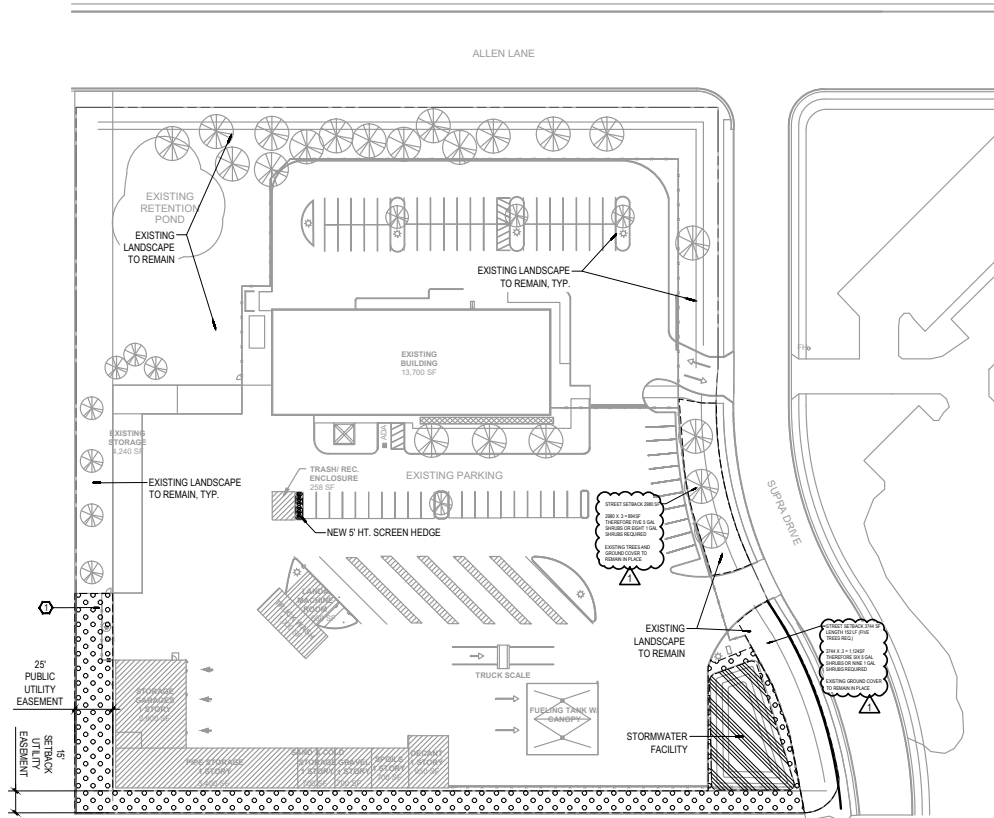
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NW Natural

LANDSCAPE SITE PLAN

L1.0



STORMWATER PLANTING STANDARDS

STORMWATER ENGINEERING STANDARDS, § 3.05 A
 DRY POND FACILITIES:
 LANDSCAPING AND TREE PLAN DESIGNS FOR DRY POND FACILITIES WILL BE SITE SPECIFIC AND DESIGNED ON A CASE-BY-CASE BASIS. GENERAL REQUIREMENTS ARE DESCRIBED BELOW BUT MAY BE MODIFIED AS NECESSARY TO MEET DESIGN OBJECTIVES, SUBJECT TO CITY APPROVAL.
 NATIVE GRASS SEED MIX (90 PERCENT COVERAGE MINIMUM OR 115 HERBACEOUS PLANTS/100 SQUARE FEET EXTENDING UP TO THE WATER QUALITY DESIGN SURFACE.

THE REMAINDER OF THE AREA MUST BE PLANTED WITH NATIVE GRASS SEED MIX (90 PERCENT COVERAGE MINIMUM) OR GROUNDCOVER/HERBACEOUS PLANTS (90 PERCENT COVERAGE MINIMUM) AND FOUR SHRUBS PER 100 SQUARE FEET.
 APPROPRIATE SIZE OF SHRUBS WILL BE SITE SPECIFIC WITH SPECIAL CONSIDERATION GIVEN TO MAINTENANCE IMPACTS ON CITY MAINTAINED FACILITIES.

PLANTINGS SPECIFIED FOR CITY MAINTAINED FACILITIES MUST NOT REQUIRE MOWING NO MORE THAN ONCE ANNUALLY.
 TREE GENERAL REQUIREMENTS ARE DESCRIBED BELOW BUT MAY BE MODIFIED AS NECESSARY TO MEET DESIGN OBJECTIVES, SUBJECT TO CITY APPROVAL.
 ONE TREE PER 300 SQUARE FEET OF AREA MEASURED FROM THE TOP OF BANK TO THE LIMITS OF THE PROPERTY. TREES SHALL BE PLANTED SUCH THAT THE GRIP LINE AT MATURITY DOES NOT EXTEND OVER THE TOP OF BANK, ACCESS ROADS, OR OTHER STRUCTURES REQUIRING MAINTENANCE.

NOTE: NO TREES ARE PROPOSED FOR THE STORMWATER FACILITY DUE TO LACK OF AREA OUTSIDE THE BOUNDARIES TO FACILITATE PLANTING TREES PER REQUIREMENTS.

- MINIMUM PLANT SIZE AT INSTALLATION:
- HERBACEOUS PLANTS: 4-INCH POT CONTAINER
 - SMALL SHRUBS/GROUNDCOVER: 1-GALLON CONTAINER
 - LARGE SHRUBS: 30-INCH HEIGHT

SITE IMPROVEMENTS DATA

TOTAL SITE	221,350 SF (0.68ACRES)
PROPOSED STORMWATER (UNLINED DRY) FACILITY	3,785 SF
PROPOSED PLANTED SETBACK	15,250 SF

STORMWATER (ON SITE) FACILITY PLANTING REQUIREMENTS:

- STORMWATER FACILITY: 3,785 SF
 REQUIRED PER 100 SF (115 HERBACEOUS PLANTS, OR 4 SHRUBS AND 90% HERBACEOUS PLANTS):
- HERBACEOUS PLANTS (4,344 TOTAL REQ.)
 - SHRUBS (640 SF OF 3" TOTAL REQ.)
 - TREES (NONE PROPOSED)
 - REMAINDER PLANTED WITH GROUNDCOVER/HERBACEOUS PLANTS SPACED TO COVER IN 3 YEARS.

SETBACK PLANTING REQUIREMENTS:

- All required front and interior setbacks (inclusive of accessways and other permitted intrusions) must be landscaped or have landscaping guaranteed in accordance with ADC § 190
- SETBACK PLANTING: 15,250 SF**
 REQUIRED PER 1,000 SF: FIVE 5-GALLON OR EIGHT 1-GALLON SHRUBS, TREES OR ACCENT PLANTS
- 5-GALLON SHRUBS (78 TOTAL)
 - 1-GALLON SHRUBS (122 TOTAL)
 - REMAINDER TREATED WITH SUITABLE LIVING GROUND COVER OR DECORATIVE TREATMENT OF BANK, OR ROCK
- 122 TOTAL SHRUBS PROVIDED. MIX OF 1 AND 5 GALLON SHRUBS

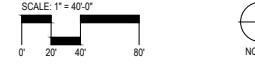
SEE SHEET L2.0 FOR PLANTING PLAN

LEGEND

- PROPERTY LINE
- STORMWATER DRY FACILITY - 3,785 SF
- PLANTED SETBACK - 15,250 SF
- EXISTING SITE TREES - TO REMAIN

KEY NOTES

- REMOVE INVASIVE PLANT MATERIAL AND PROVIDE NEW PLANTING PER SCHEDULE



STREET FRONTAGE PLANTING STANDARDS

(2) Landscaping Required - Non-Residential: All required front and interior setbacks (inclusive of accessways and other permitted intrusions) must be landscaped or have landscaping guaranteed in accordance with ADC § 190 before an occupancy permit will be issued. Minimum landscaping acceptable for every 1,000 square feet of required setbacks in all commercial/industrial districts is as follows:
 (a) One tree at least six feet tall for every 20 feet of street frontage.
 (b) Five 5-gallon or eight 1-gallon shrubs, trees or accent plants.
 (c) The remaining area treated with suitable living ground cover, lawn, or decorative treatment of bank, rock, or other attractive ground cover.
 (d) When the yard adjacent to a street of an industrially zoned property is across a right-of-way from other industrially or commercially zoned property, only 30 percent of such setback area must be landscaped.



LANDSCAPE PLANTING PLAN

L2.0

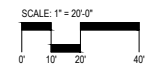
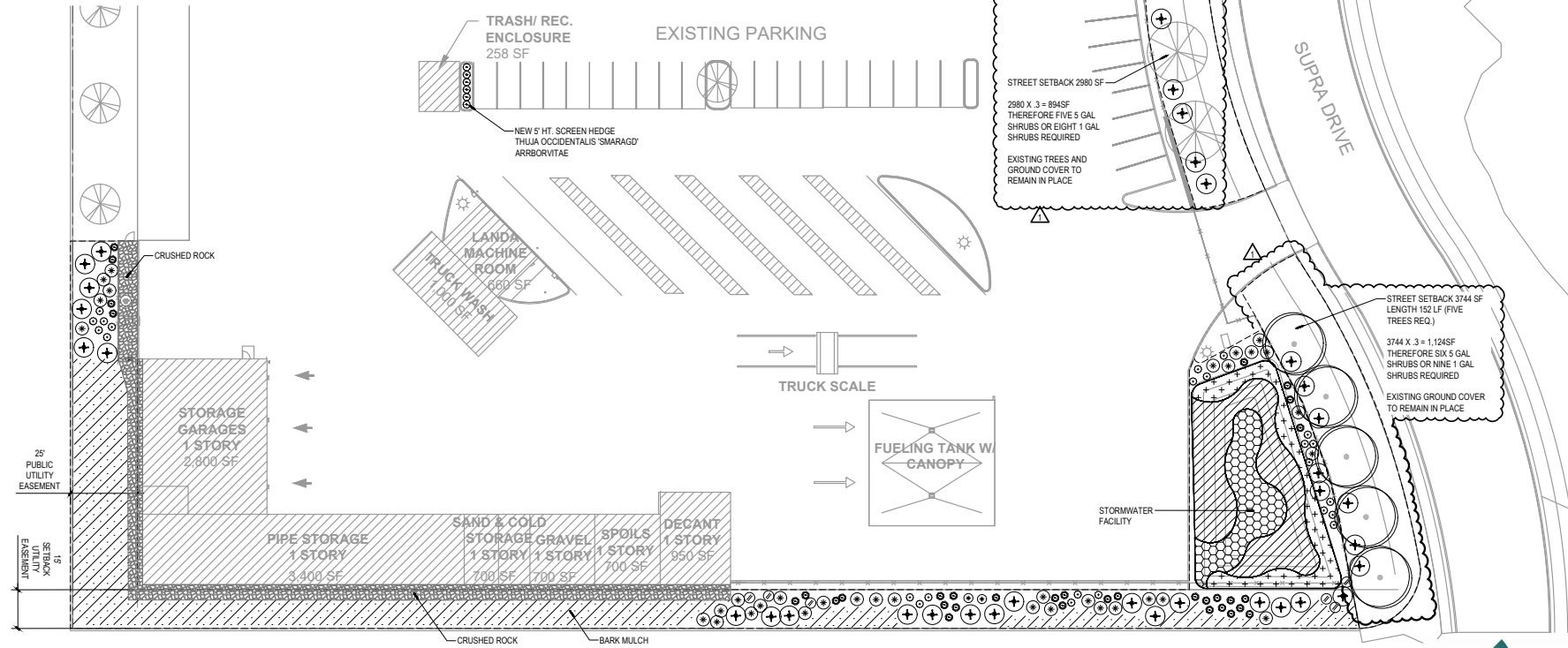
PLANTING NOTES

1. ALL NEW LANDSCAPE AREAS SHALL BE WATERED WITH AN AUTOMATIC IRRIGATION SYSTEM OR HAND-WATERED FOR REQUIRED ESTABLISHMENT PERIOD.
2. PROVIDE PLANTING SOIL, SOIL AMENDMENTS, AND BARK MULCH TO THE COMPOSITION AND DEPTHS IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OF THE CONTRACT DOCUMENTS.
3. ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DRAWINGS AND THE SPECIFICATIONS PROVIDED AS PART OF THE CONTRACT DOCUMENTS.
4. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. ALL COUNTS MUST BE VERIFIED PRIOR TO INSTALLATION. IN THE CASE OF A DISCREPANCY BETWEEN THE LEGEND AND THE PLAN, PLANTS INDICATED ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN THE SCHEDULE.
5. UTILITY LOCATIONS SHOWN ON PLANS MAY DIFFER FROM FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY ALL UTILITIES BEFORE INSTALLATION. CONFLICTS BETWEEN ANY EXISTING AND PROPOSED UTILITIES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.

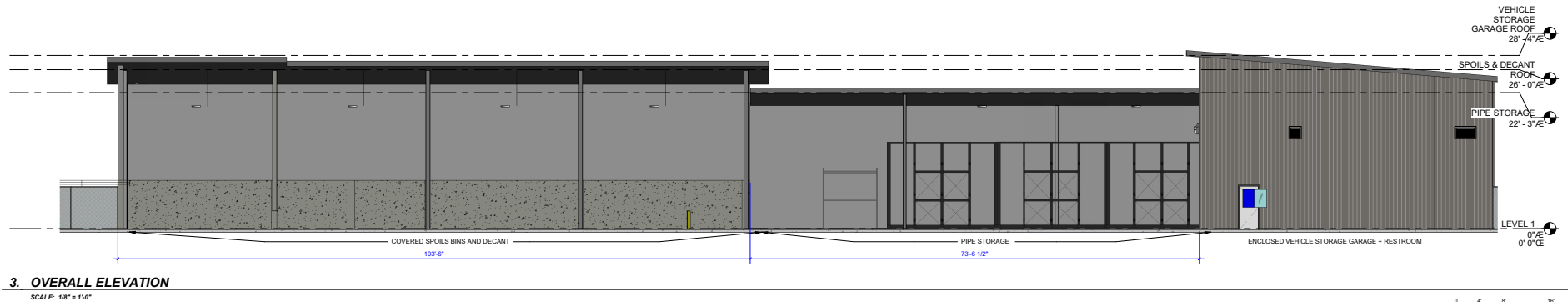
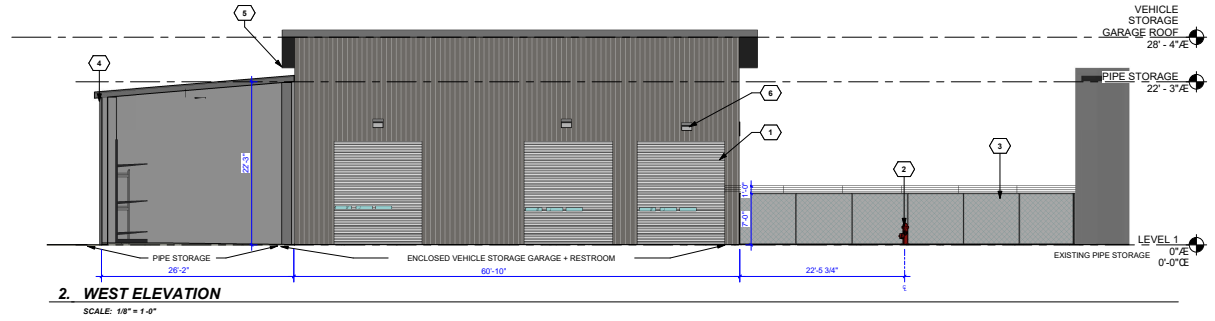
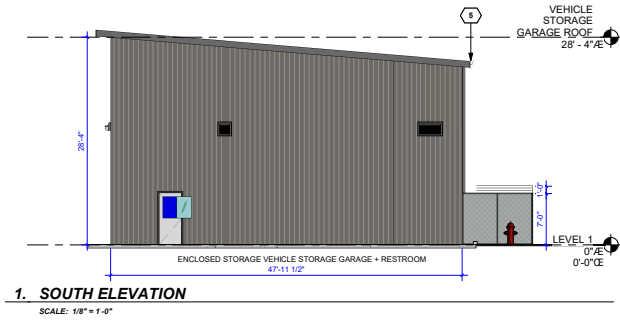
SETBACK PLANTING					
TREES/SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	REMARKS
	5	QUERCUS GARRIANA	OREGON OAK	2" CAL. BAB	
	34	MYRTA CALIFORNICA	PACIFIC WAX MYRTLE	5 GAL.	
	36	CEANOTHUS GLORIOSUS	POINT REYES CREEPER	5 GAL.	
	33	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	1 GAL.	
	24	POLYSTICHUM MONTANUM	WESTERN SWORD FERN	1 GAL.	
	6	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	1 GAL.	
			BARK MULCH		
			CRUSHED ROCK PAVING		

STORMWATER FACILITY PLANTING					
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	REMARKS
	38	SPIREA JAPONICA 'MAGIC CARPET'	MAGIC CARPET SPIREA	1 GAL. CONT.	24" O.C. MIN. ZONE B - DEC.
	1,114	JUNCUS PATENS 'ELK BLUE'	CALIFORNIA GRAY RUSH	4" POT	115 PER 100 SF. ZONE AB - EVE.
	2,152	CAREX OBLINPTA	SLOUGH SEDGE	4" POT	115 PER 100 SF. ZONE AB - EVE.

NOTE: AT STREET PLANTING AREA PROVIDE CAREX OBLINPTA AT 115 PER 100 SF TO FILL AREA BETWEEN SHRUBS



A4 - EXTERIOR ELEVATIONS



LEGEND

- EXTERIOR WALL METAL PANEL SYSTEM 1 - ZINC GREY
- GLAZING
- STANDING SEAM METAL ROOFING SYSTEM - DARK BRONZE
- CAST IN PLACE CONCRETE WALL

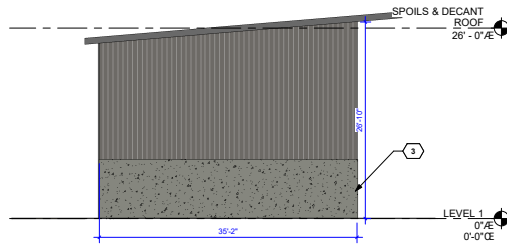
MATERIAL LEGEND

- CORRUGATED METAL PANEL SYSTEM
- ZINC GREY
- STANDING SEAM METAL ROOFING SYSTEM
- DARK BRONZE

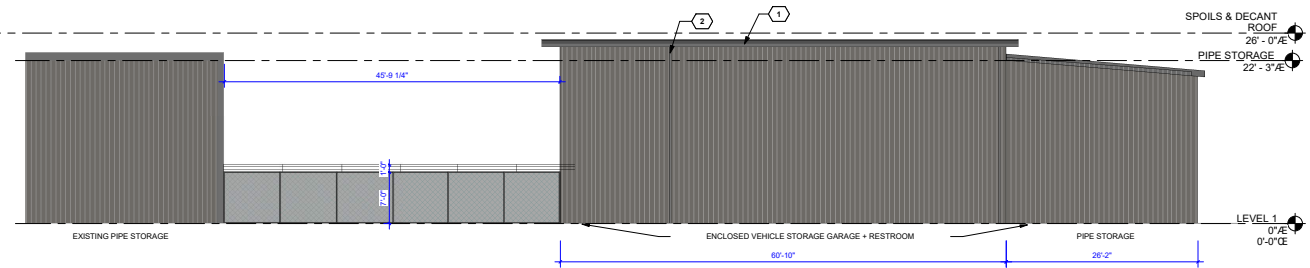
KEYNOTES

- 1 OVERHEAD COILING DOOR, 14' X 14', PRE-FINISH PAINTED
- 2 RELOCATED FIRE HYDRANT
- 3 PROPOSED 8'-0" TALL CHAIN LINK FENCE, SEE DETAIL
- 4 DOWNSPOUT, DARK BRONZE, TYP.
- 5 CONTINUOUS GUTTER ON FASCIA BOARD, DARK BRONZE FINISH, TYP.
- 6 WALL MOUNTED LIGHT FIXTURE

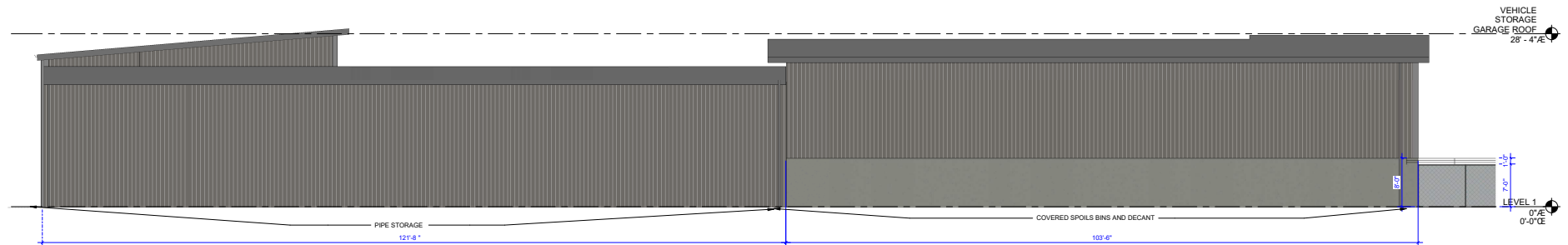
A5 - EXTERIOR ELEVATIONS



1. WEST ELEVATION AT DECANT
SCALE: 1/8" = 1'-0"







2. EAST ELEVATION 2
SCALE: 1/8" = 1'-0"



3. OVERALL NORTH ELEVATION 2
SCALE: 1/8" = 1'-0"

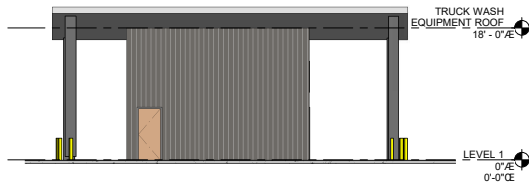
LEGEND

-  EXTERIOR WALL METAL PANEL SYSTEM-1 : ZINC GREY
-  GLAZING
-  STANDING SEAM METAL ROOFING SYSTEM: DARK BRONZE
-  CAST IN PLACE CONCRETE WALL

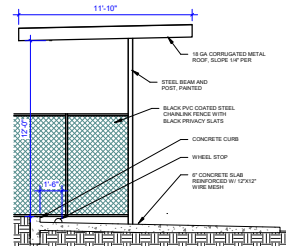
KEYNOTES

- 1 CONTINUOUS GUTTER ON FASCIA BOARD, DARK BRONZE FINISH, TYP.
- 2 DOWNSPOUT, DARK BRONZE, TYP.
- 3 CONCRETE RETAINING WALL

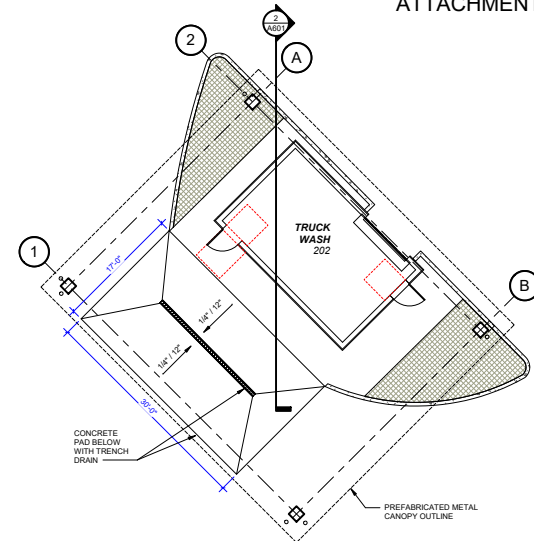
A6 - EXTERIOR ELEVATION



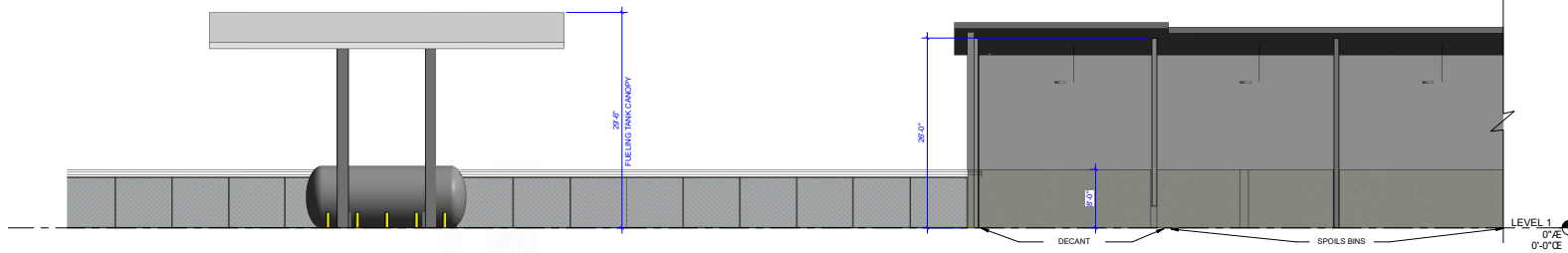
1. TRUCK WASH EQUIPMENT ROOM BUILDING - ELEVATION
SCALE: 1/8" = 1'-0"



2. TRASH ENCLOSURE - ELEVATION
SCALE: 1/4" = 1'-0"



3. TRUCK WASH EQUIPMENT ROOM BUILDING - FLOOR PLAN
SCALE: 1/8" = 1'-0"



4. FUELING TANK ISLAND ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND

- EXTERIOR WALL METAL PANEL SYSTEM - 1: ZINC GREY
- GLAZING
- STANDING SEAM METAL ROOFING SYSTEM: DARK BRONZE
- CAST IN PLACE CONCRETE WALL





Wetland Land Use Notice Response

Response Page

Department of State Lands (DSL) WN# *

WN2023-0839

Responsible Jurisdiction

Staff Contact	Jurisdiction Type	Municipality
Liz Olmstead	City	Albany
Local case file #	County	
SP-21-23	Linn	

Activity Location

Township	Range	Section	QQ section	Tax Lot(s)
11S	04W	25		1302

Street Address

7150 Supra Dr SW

Address Line 2

City

Albany

Postal / Zip Code

97321

State / Province / Region

OR

Country

Linn

Latitude

44.583368

Longitude

-123.115682

Wetland/Waterway/Other Water Features

- There are/may be wetlands, waterways or other water features on the property that are subject to the State Removal-Fill Law based upon a review of wetland maps, the county soil survey and other available information.
- Local Wetlands Inventory shows wetland, waterway or other water features on the property
- The county soil survey shows hydric (wet) soils on the property. Hydric soils indicate that there may be wetlands.

Your Activity

- It appears that the proposed project **will** impact wetlands and **requires** a State Permit.

Applicable Oregon Removal-Fill Permit Requirement(s)



- A state permit is required for 50 cubic yards or more of fill removal or other ground alteration in wetlands, below ordinary high water of waterways, within other waters of the state, or below highest measured tide.

Closing Information



Additional Comments

Wetland was delineated in 2021 (WD2021-0518), and received authorization from DSL to fill the wetland per APP 64142.

This is a preliminary jurisdictional determination and is advisory only.

This report is for the State Removal-Fill law only. City or County permits may be required for the proposed activity.

Contact Information

- For information on permitting, use of a state-owned water, wetland determination or delineation report requirements please contact the respective DSL Aquatic Resource, Proprietary or Jurisdiction Coordinator for the site county. The current list is found at: <http://www.oregon.gov/dsl/ww/pages/wwstaff.aspx>
- The current Removal-Fill permit and/or Wetland Delineation report fee schedule is found at: <https://www.oregon.gov/dsl/WW/Documents/Removal-FillFees.pdf>

Response Date

11/20/2023

Response by:

Matthew Unitis

Response Phone:

503-986-5262