



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Notice of Decision

Site Plan Review

SP-03-24

March 8, 2024

Application Information

Proposal:	To construct a new 2,160-square-foot residential accessory building.
Review Body:	Staff (Type I-L review)
Report Prepared By:	Alyssa Schrems, Planner II
Applicant/Property Owner:	Christian Cashen, 2333 Waverly Drive SE, Albany, OR 97322
Address/Location:	2333 Waverly Drive SE, Albany, OR 97322
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-03W-17A Tax Lot 208
Zoning:	Residential Single Dwelling Unit (RS-6.5)

On March 8, 2024, the City of Albany Community Development Director granted **Approval with Conditions** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC) with an effective date of December 29, 2023. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact **Alyssa Schrems**, project planner, at 541-791-0176 or Current Planning Supervisor David Martineau at 541-917-7555.

The City's decision may be appealed to the Albany Planning Commission if a person with standing files a completed notice of intent to appeal and the associated filing fee no later than 10 days from the date the City mails the notice of decision [ADC 1.220(7)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City.

This approval shall expire three years from the date of approval unless 1) the applicant has installed all of the required public infrastructure related to the development and the infrastructure has been accepted by the City, or 2) the applicant has provided financial assurance for all required public infrastructure per ADC Section 12.600, or 3) the development did not require public infrastructure, a valid building permit exists for new construction or improvements, and work has commenced.

Signature on file

Community Development Director

Appeal Deadline: March 22, 2024

Approval Expiration Date (if not appealed): March 8, 2027

Attachments: Location Map, Site Plan, Elevations

albanyoregon.gov/cd



Conditions of Approval

- Condition 1 Prior to building permit issuance, the applicant shall provide a detailed storm drainage plan with building permit submittal. The drainage plan shall show how the roof drainage from the proposed structure will be discharged to a point approved by the Engineering Department.
- Condition 2 Development shall occur consistent with the plans and narrative submitted by the applicant, or as modified by conditions of approval and shall comply with all applicable state, federal, and local laws.

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or ADC regulations or administrative policies of the planning, engineering, fire, or building departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

Planning

1. Land use approval does not constitute building or public works permit approvals.
2. Construction of the development must substantially conform to the approved Site Plan Review.

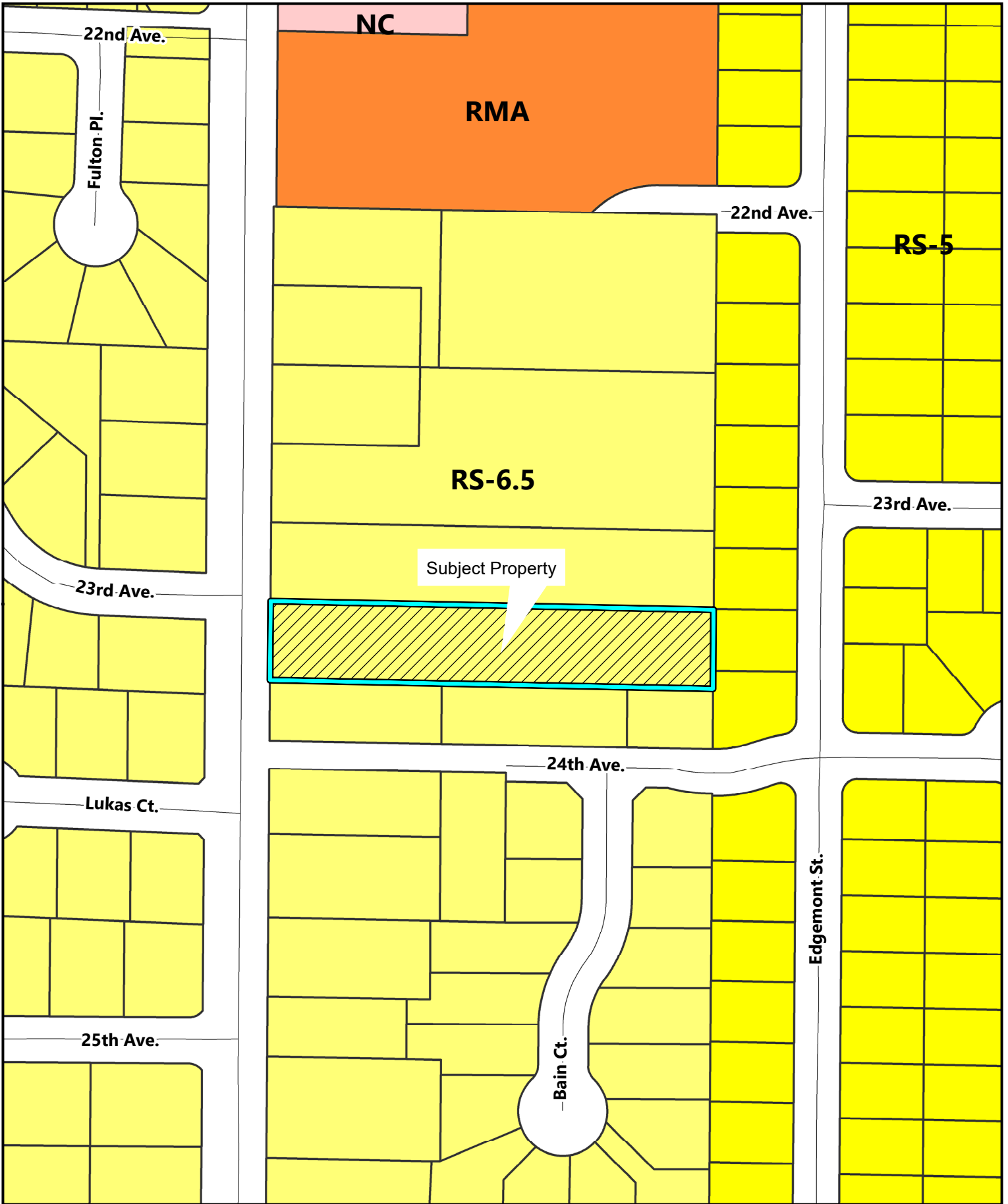
Building Permits

1. The proposed project may require permits that will need to be applied for at www.albanyoregon.gov/permits. For questions about permitting requirements, please email cd.customerservice@albanyoregon.gov.
2. The proposed design has not been reviewed for code compliance with the Oregon Building Code and the design will need to meet the applicable Oregon Building Code requirement in effect at the time of application.

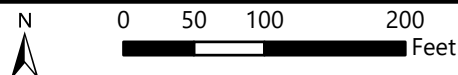
Public Works - Engineering

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

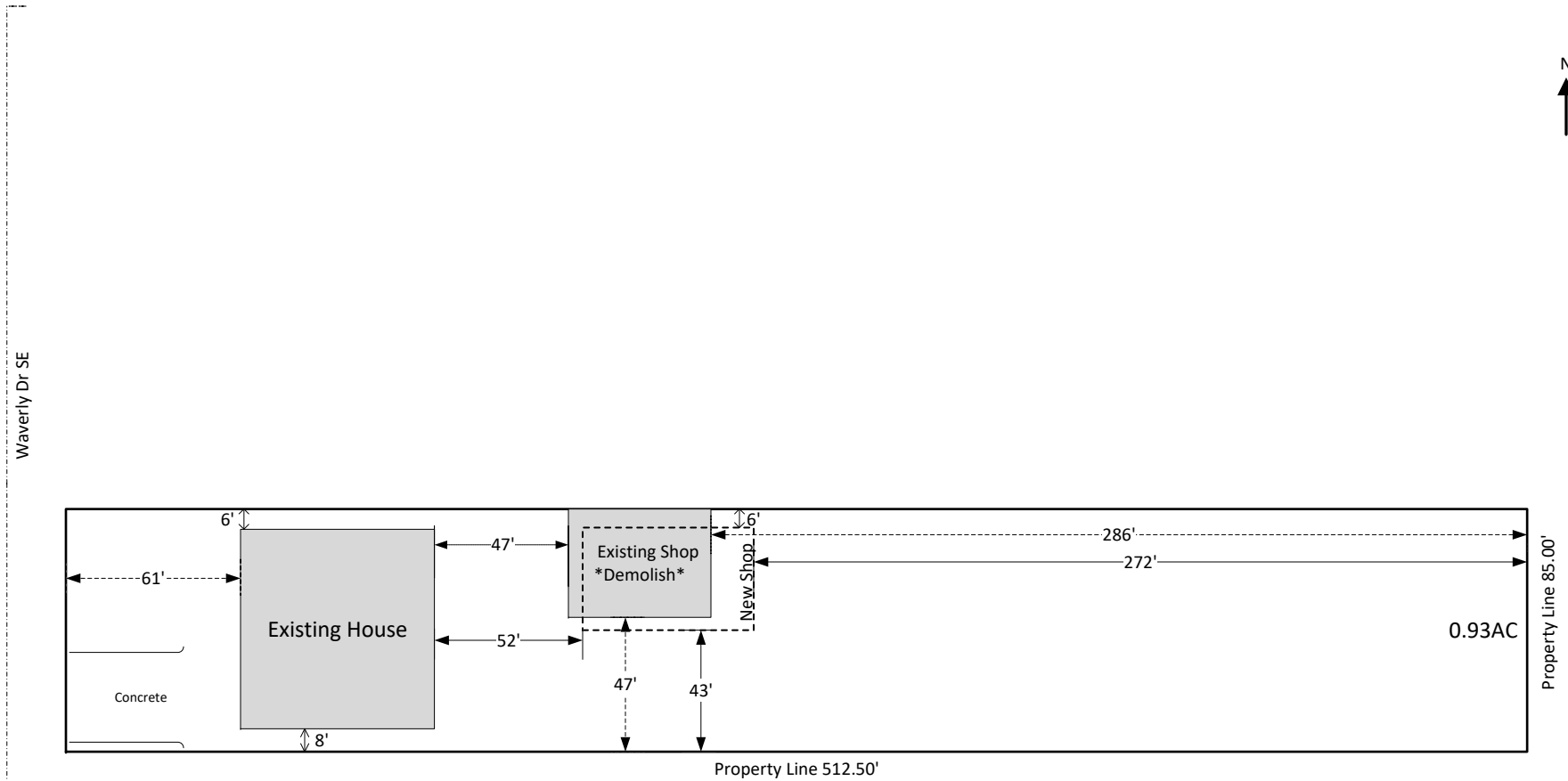
An erosion prevention and sediment control (EPSC) permit shall be obtained for land-disturbing activities affecting an area of 2,000 square feet or greater, cumulatively (AMC 12.40.030).



\\con.cityofalbany.net\home\analysis\Desktop\Notice Map Template.mxd



2333 Waverly Drive SE



Name: Chris Cashen **Phone:** 541-272-1851 **Scale:** 1" = 60'

Address: 2333 Waverly Dr SE Albany OR 97322 **Assessor's Map No:** 11S-03W-17-A **Lot No:** 208

Drawn 1-25-2024

POLE BUILDING PLANS

BUILDING OWNER: CHRIS CASHEN
 BUILDING LOCATION: 2333 WAVERLY DR. SE
 ALBANY, OR. 97322
 COUNTY: LINN
 BUILDING DIMENSIONS: 36' X 60' X 16'-6"
 ROOF PITCH: 4 IN 12
 BUILDING AREA/CONST. TYPE: 2,160 SF / TYPE V-B
 ROOF FRAMING SYSTEM: PRE-ENGINEERED TRUSSES BY OTHERS
 ROOF ASSEMBLY: METAL
 WALL ASSEMBLY: METAL / METAL OVER WOOD SHEATHING
 BUILDING USE: PRIVATE SHOP

CONTRACTOR/BUILDER: RMAC BUILDINGS
 ADDRESS: P.O. BOX 70
 SCIO, OR. 97374

BUILDING DESIGN CRITERIA

GROUND SNOW LOAD = 25 PSF
 ROOF DEAD LOAD = 3 PSF
 WIND SPEED = 100 MPH (3 SEC. GUST)
 WIND EXPOSURE = B
 SEISMIC DESIGN PARAMETERS:
 $S_s = 0.77$; $S_1 = 0.40$
 SEISMIC DESIGN CATEGORY = D
 RISK CATEGORY = II
 SOIL BEARING CAPACITY = 1,500 PSF

BUILDING CODES & REFERENCES

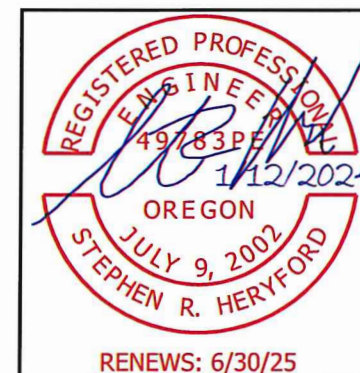
-2022 OSSC
 -ASCE 7-16
 -NDS 2018

SHT	DRAWING LIST
1	C1.0 COVER SHEET
2	P1.0 PLAN VIEW
3	E1.0 ELEVATION VIEWS
4	S1.0 SECTIONS & DETAILS
5	D1.0 POSTHOLE, PURLIN & GIRT DETAILS
6	D2.0 SHEATHING DETAILS

CONSTRUCTION NOTES

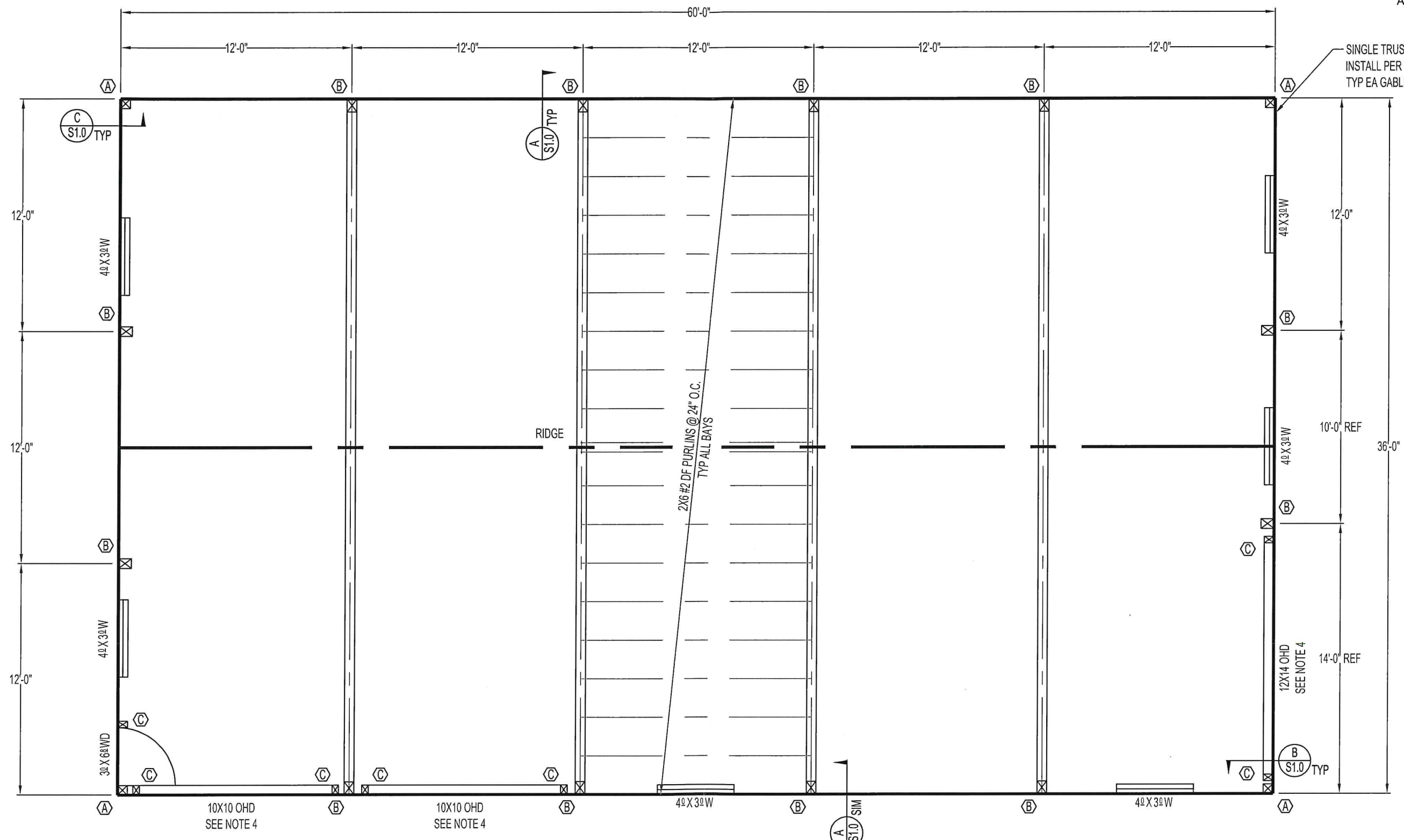
- ALL DRAWINGS SHALL BE REVIEWED AND APPROVED BY OWNER AND/OR CONTRACTOR PRIOR TO BEGINNING OF SITE WORK OR BUILDING CONSTRUCTION. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE VERIFIED AND ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS SHALL BE REPORTED TO SOUTH VALLEY ENGINEERING PRIOR TO MATERIAL PURCHASE AND BEGINNING OF CONSTRUCTION. SOUTH VALLEY ENGINEERING SHALL NOT BE HELD LIABLE FOR ANY COSTS OR DAMAGES INCURRED DUE TO DISCREPANCIES, ERRORS AND/OR OMISSIONS DISCOVERED AFTER CONSTRUCTION HAS BEGUN.
- THE BUILDING OWNER AND OR CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ANY WORK DONE THAT IS NOT SHOWN ON OR DOES NOT COMPLY WITH THESE PLANS. REQUESTS FOR ANY CHANGES SHALL BE MADE TO THE ENGINEER IN WRITING, AND SHALL BE RECEIVED FROM THE ENGINEER IN WRITING PRIOR TO IMPLEMENTATION.
- STRUCTURAL CONCRETE FOR SLABS AND FOUNDATIONS SHALL BE A MINIMUM OF 2,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH NO SPECIAL INSPECTION REQUIRED. FOOTINGS AND FOUNDATIONS SHALL BE CAST AGAINST UNDISTURBED NATIVE SOIL UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL DIMENSIONAL LUMBER SHALL BE #2 DF OR BETTER UNLESS OTHERWISE NOTED ON THE PLANS. HIGHER GRADE LUMBER OF SAME SPECIES MAY BE SUBSTITUTED FOR SPECIFIED GRADE.
- ALL WOOD IN CONTACT WITH CONCRETE ABOVE GROUND SHALL BE PRESSURE TREATED FOR ABOVE GROUND CONTACT. ALL WOOD EMBEDDED IN GROUND SHALL BE PRESSURE TREATED FOR BURIAL.
- ROOF & WALL WOOD SHEATHING (IF USED)-UNLESS OTHERWISE NOTED ON THE PLANS:
 ALL ROOF AND WALL WOOD SHEATHING SHALL BE AN APPROVED APA RATED SHEATHING, EXPOSURE I, GRADE C-D, EXTERIOR GLUE, 7/16" THICK (MINIMUM). EXTERIOR GRADE SHEATHING SHALL BE RATED FOR EXTERIOR USE. WOOD ROOF SHEATHING SHALL BE NAILED WITH 8d NAILS AT 6" O.C. EDGES AND 12" O.C. FIELD. 2X BLOCKING IS NOT REQUIRED FOR ROOF SHEATHING. WALL SHEATHING SHALL BE NAILED WITH 8d NAILS AT 6" O.C. EDGES AND 12" O.C. FIELD OR AS SPECIFIED ON THE PLANS. 2X BLOCKING SHALL BE INSTALLED AT ALL PANEL EDGES ON ALL WALLS.
- ALL FASTENERS EXPOSED TO THE ELEMENTS SHALL BE GALVANIZED OR CORROSION RESISTANT. ALL FASTENERS IN PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- IF PLANS SPECIFY GRANULAR BACKFILL IN POSTHOLE, BACKFILL WITH 3/4" MINUS CLEAN CRUSHED GRAVEL TO SPECIFIED EMBEDMENT DEPTH. BACKFILL IN 6" LIFTS AND SATURATE AND COMPACT EACH LIFT.
- INSTALL ALL TRUSS BRACING PER TRUSS ENGINEERING. INSTALL TEMPORARY TRUSS BRACING DURING CONSTRUCTION PER BCSI-B10 GUIDELINES FOR POST FRAME TRUSS INSTALLATION, RESTRAINT & BRACING DURING CONSTRUCTION.
- IF SOLID ROCK IS ENCOUNTERED AND THE POSTHOLE DEPTH CANNOT BE DRILLED TO THE DEPTH AS SPECIFIED, THE FOLLOWING CRITERIA MAY BE USED:
 - ALL POSTHOLES MUST BE A MINIMUM OF 18"Ø AND 30" DEEP AND
 - THE SOLID ROCK PORTION OF THE POSTHOLE DEPTH MUST BE A MINIMUM OF 18" DEEP AND
 - ALL POSTHOLES MUST BE BACKFILLED WITH CONCRETE BACKFILL FULL DEPTH
 - THE 6" CONCRETE FOOTING AT THE BOTTOM OF THE HOLE MAY BE OMITTED FOR POSTS BEARING ON SOLID ROCK

NOTE: VERIFY ALL INSPECTIONS REQUIRED BY THE PERMITTING AGENCY PRIOR TO SITE PREPARATION AND BUILDING CONSTRUCTION



COVER SHEET			
DRAWING NO.: C1.0	OWNER: CHRIS CASHEN		
REV.: 0	SHEET: 1	LOCATION: 2333 WAVERLY DR. SE	
PROJECT NO.: 12401006		ALBANY, OR. 97322	
DATE: 11 JAN 2024	SCALE: N/A	DRAWN BY: LD	
 South Valley Engineering 4742 Liberty Rd. S #151 • Salem, OR. 97302 Ph. (503) 302-7020 • Fax (888) 535-6341 www.southvalleyengineering.com			

THE PLANS FOR THIS BUILDING ARE THE PROPERTY OF SOUTH VALLEY ENGINEERING, LLC AND SHALL BE SURRENDERED UPON REQUEST. THIS BUILDING HAS BEEN ENGINEERED TO CONFORM TO THE DIMENSIONS AND BUILDING DESIGN CRITERIA SPECIFIED, AND SHALL BE BUILT ONLY AT THE LOCATION DESIGNATED ON THESE PLANS. ANY CHANGES OR MODIFICATIONS TO THESE PLANS, INCLUDING BUT NOT LIMITED TO BUILDING DIMENSIONS, DESIGN CRITERIA, OR BUILDING LOCATION WITHOUT EXPRESS WRITTEN PERMISSION OR DOCUMENTATION BY THE ENGINEER WHOSE SEAL IS AFFIXED TO THESE PLANS SHALL RENDER THESE PLANS NULL AND VOID, AND THE ENGINEER WHOSE SEAL IS AFFIXED TO THESE PLANS SHALL NOT BE HELD LIABLE FOR THE STRUCTURAL INTEGRITY OR CODE COMPLIANCE OF ANY BUILDING CONSTRUCTED REFERENCING THESE PLANS UNDER THESE CONDITIONS.

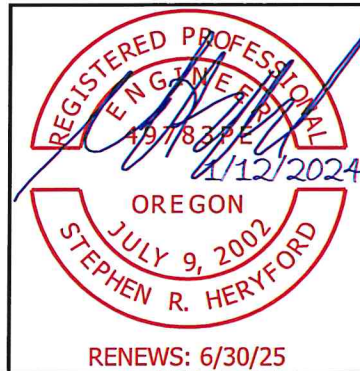


GENERAL NOTES

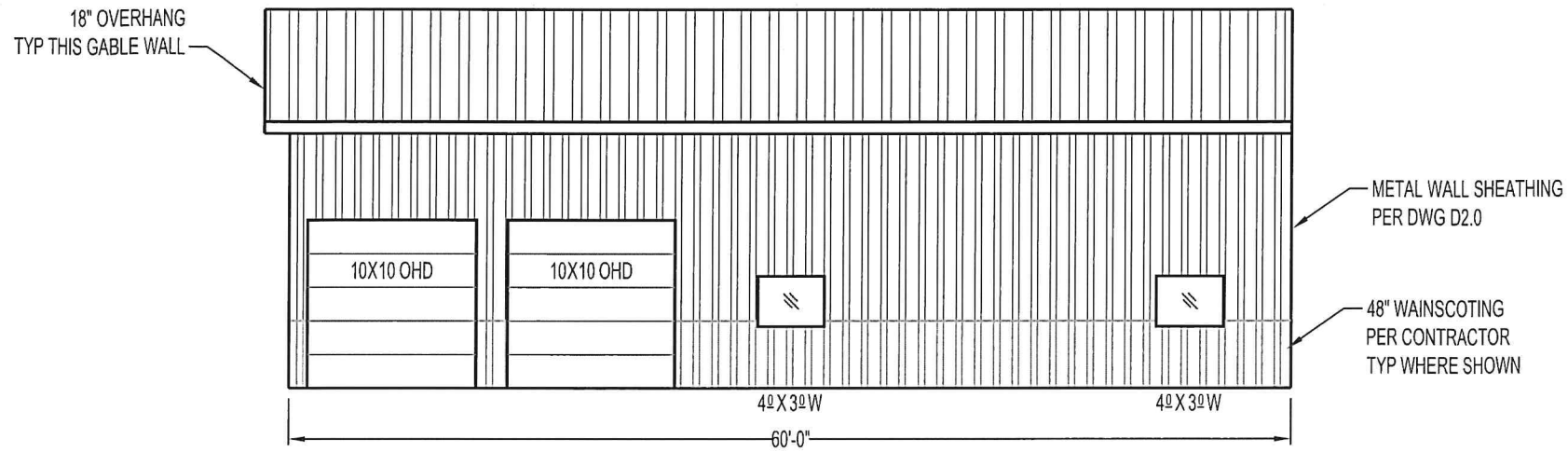
1. ALL POSTS TO BE #2 HF PRESSURE TREATED FOR BURIAL AND ORIENTED AS SHOWN UNLESS OTHERWISE NOTED
2. UNLESS OTHERWISE DIMENSIONED, ALL WINDOWS AND WALK DOORS MAY BE LOCATED BY THE OWNER/CONTRACTOR IN THE WALLS SHOWN
3. EMBED POSTS AND BACKFILL PER DWG D2.0
4. CONTRACTOR TO VERIFY OVERHEAD DOOR DIMENSIONS AND CLEARANCES PRIOR TO BUILDING CONSTRUCTION AND OVERHEAD DOOR INSTALLATION

TABLE 1

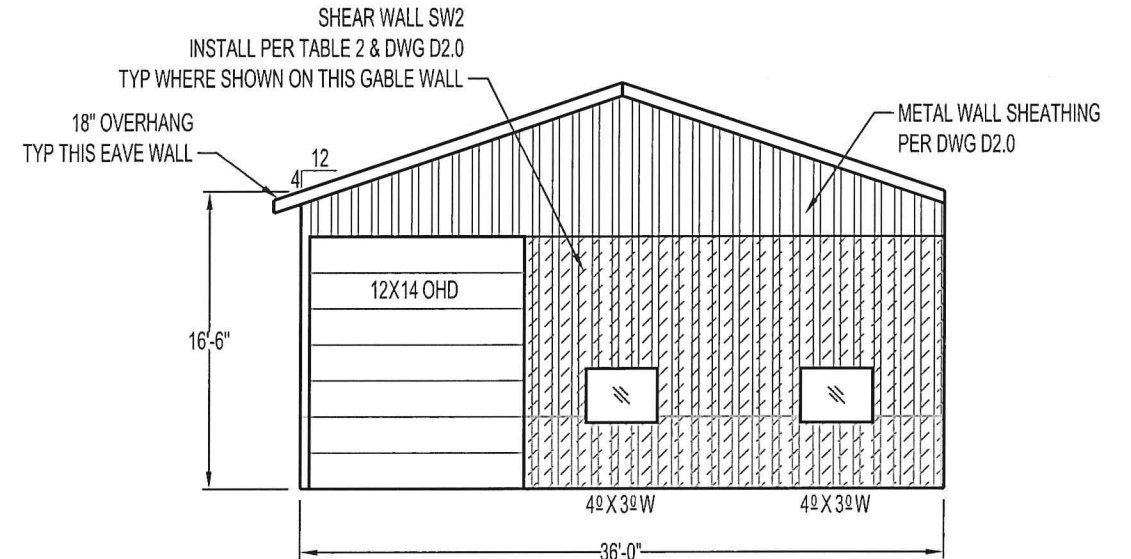
POST	SIZE	HOLE DIMENSIONS		BACKFILL	NOTES
		DIAMETER	DEPTH		
(A)	6X6	24"Ø	5'-0"	CONCRETE	-
(B)	6X8	24"Ø	5'-0"	CONCRETE	-
(C)	4X6	18"Ø	2'-6"	CONCRETE	INSTALL PER CONSTRUCTION NOTES



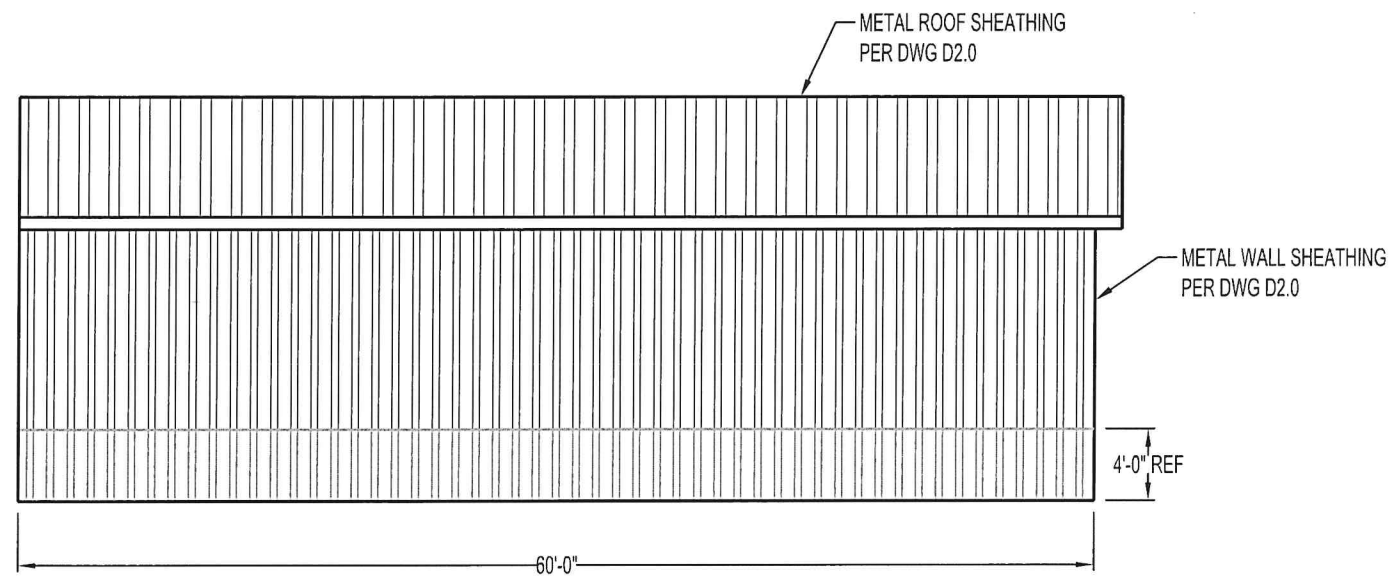
PLAN VIEW			
DRAWING NO.: P1.0	OWNER: CHRIS CASHEN		
REV.: 0	SHEET: 2	LOCATION: 2333 WAVERLY DR. SE	
PROJECT NO.: 12401006		ALBANY, OR. 97322	
DATE: 11 JAN 2024	SCALE: 3/16" = 1'-0"	DRAWN BY: LD	
		South Valley Engineering 4742 Liberty Rd. S #151 • Salem, OR. 97302 Ph. (503) 302-7020 • Fax (888) 535-6341 www.southvalleyengineering.com	
		RENEWS: 6/30/25	



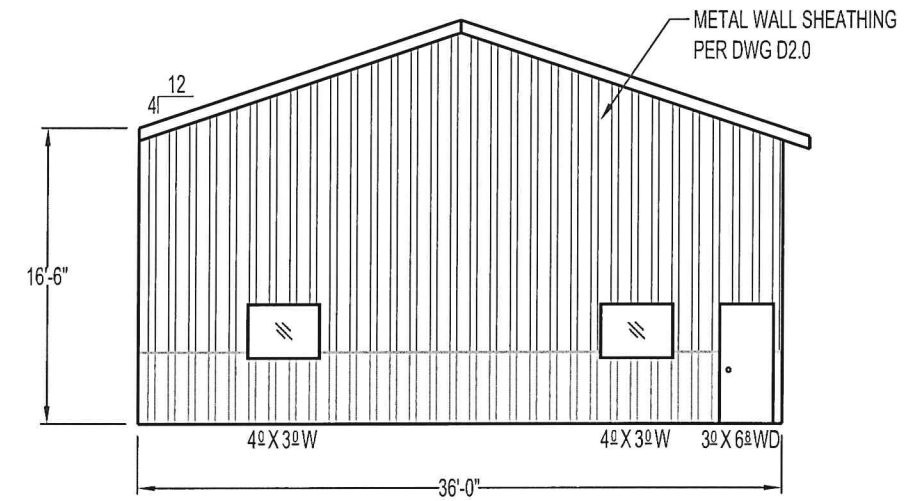
FRONT EAVE



RIGHT GABLE



REAR EAVE



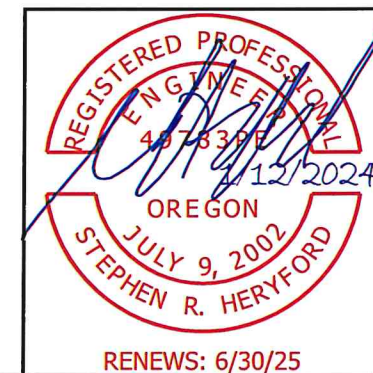
LEFT GABLE

TABLE 2

SHEAR WALL	TYPE	FASTENING		
		EDGES	FIELD	FASTENERS
SW1	WOOD SHEATHING	6" O.C.	12" O.C.	8d NAILS

GENERAL NOTES

1. INSTALL SHEAR PANEL PER DWG D2.0

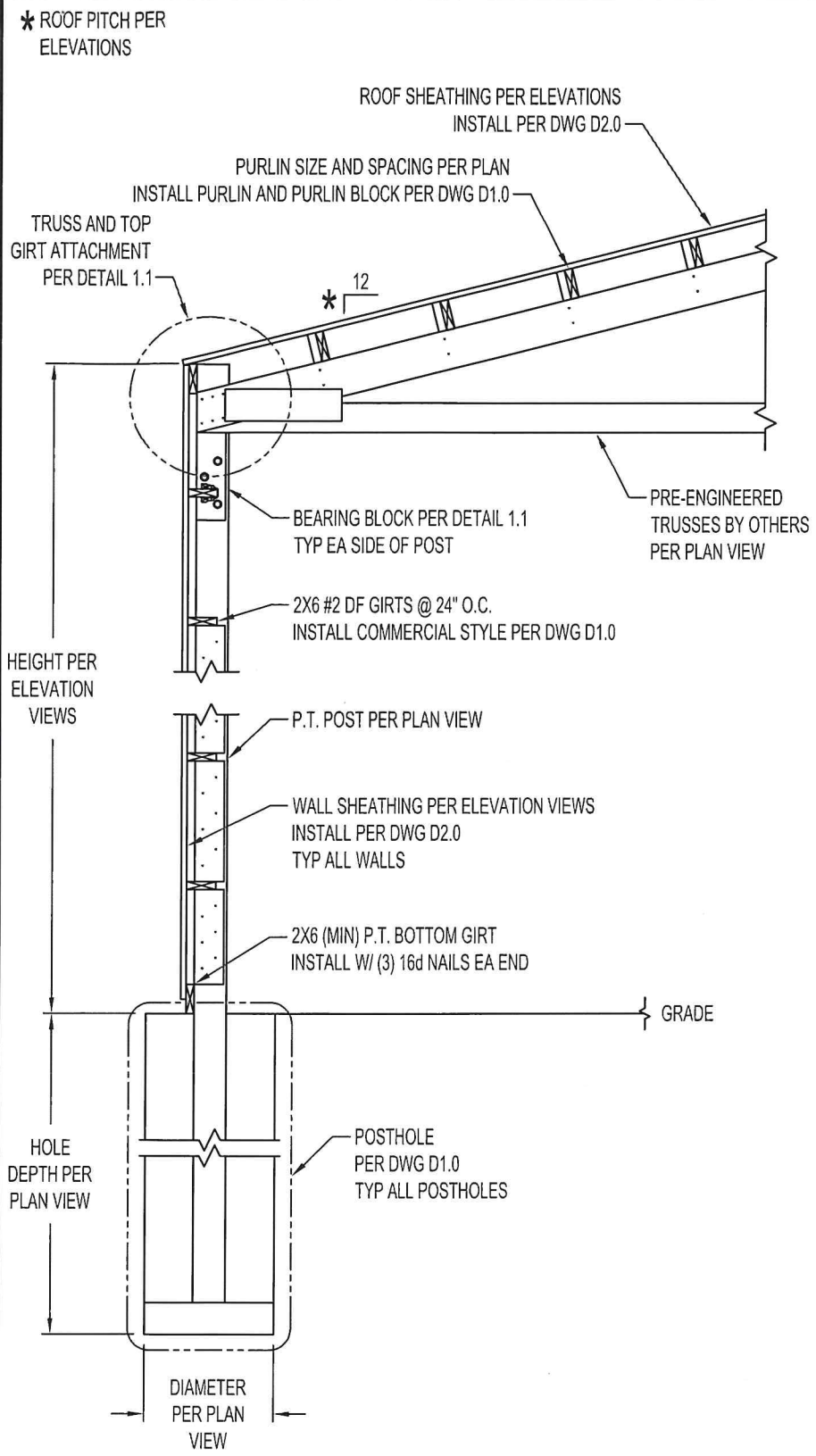


ELEVATIONS

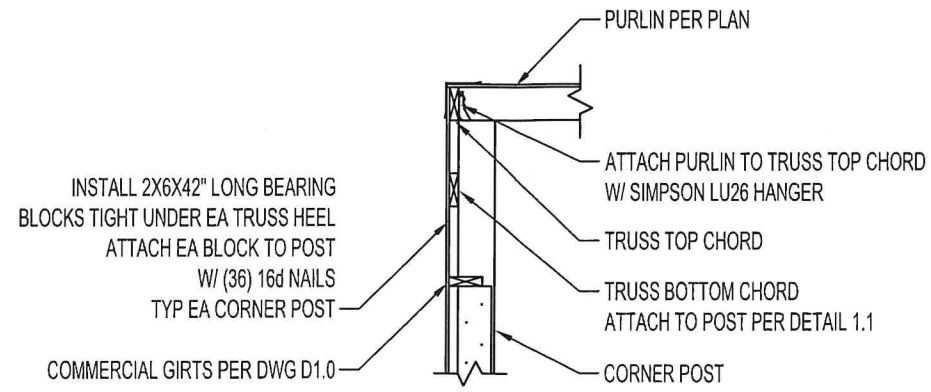
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REV.: 0	SHEET: 3
PROJECT NO.: 12401006	LOCATION: 2333 WAVERLY DR. SE ALBANY, OR. 97322
DATE: 11 JAN 2024	SCALE: 3/32" = 1'-0" DRAWN BY: LD



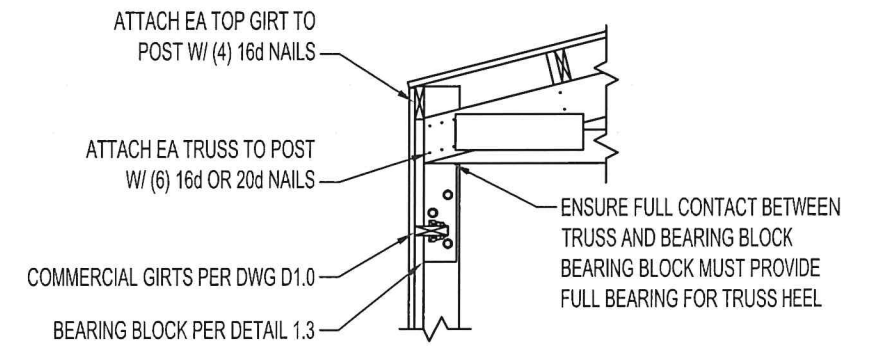
South Valley Engineering
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www.southvalleyengineering.com



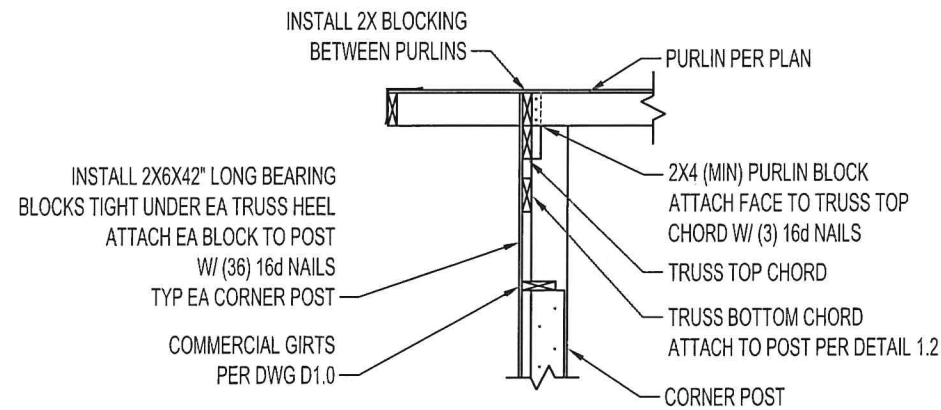
SECTION A



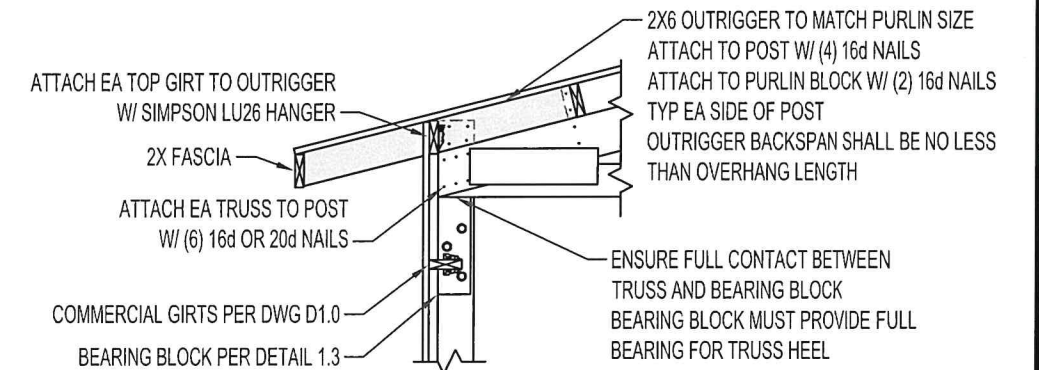
SECTION B
GABLE TRUSS CONNECTION W/ COMMERCIAL GIRTS



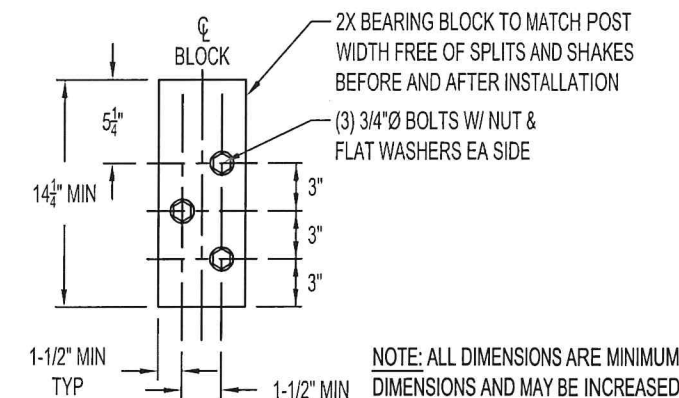
DETAIL 1.1
TRUSS ATTACHMENT WITH COMMERCIAL GIRTS



SECTION C
GABLE TRUSS CONNECTION W/ COMMERCIAL GIRTS

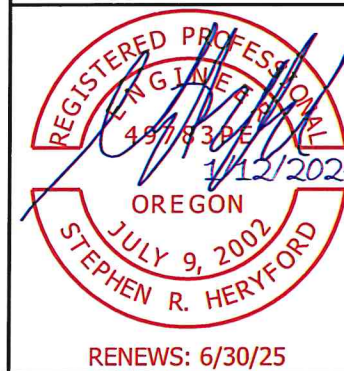



DETAIL 1.2
TRUSS ATTACHMENT WITH COMMERCIAL GIRTS

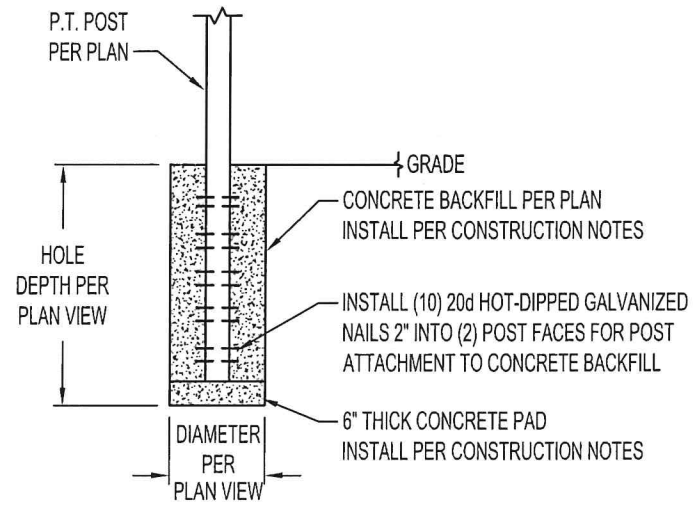


DETAIL 1.3
SCALE: NTS
BEARING BLOCK DIMENSIONS & BOLT SPACING

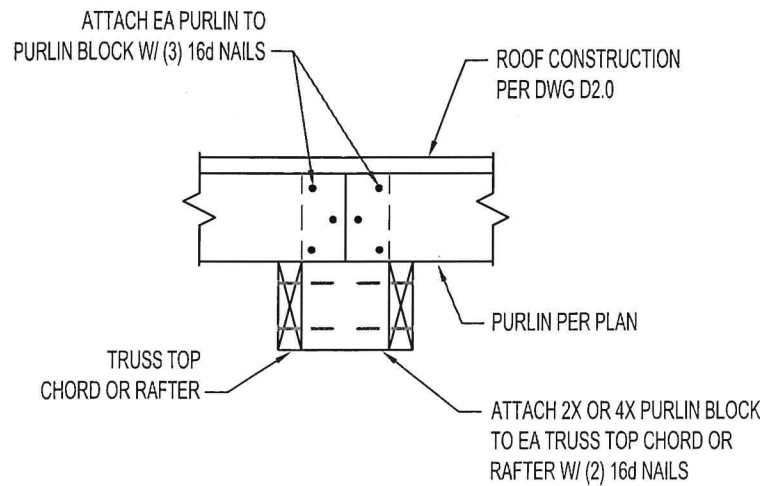
NOTE: ALL DIMENSIONS ARE MINIMUM DIMENSIONS AND MAY BE INCREASED BUT NOT DECREASED



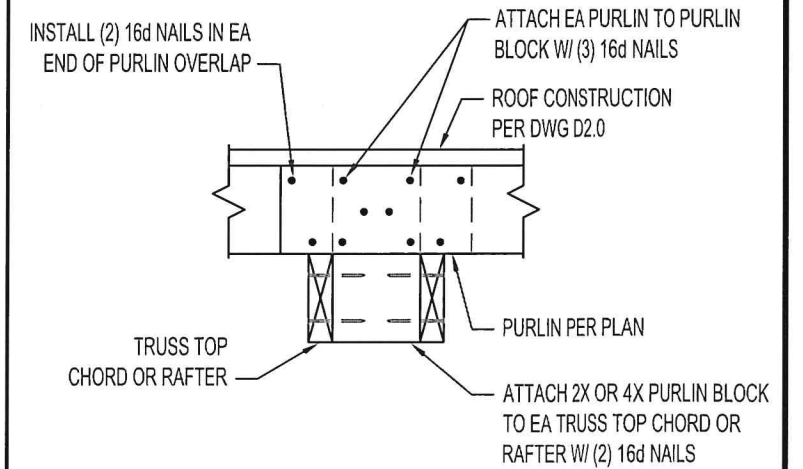
SECTIONS & DETAILS			
DRAWING NO.: S1.0	OWNER: CHRIS CASHEN		
REV.: 0	SHEET: 4	LOCATION: 2333 WAVERLY DR. SE	
PROJECT NO.: 12401006		ALBANY, OR. 97322	
DATE: 11 JAN 2024	SCALE: 3/8"= 1'-0"	DRAWN BY: LD	
 South Valley Engineering 4742 Liberty Rd. S #151 • Salem, OR. 97302 Ph. (503) 302-7020 • Fax (888) 535-6341 www.southvalleyengineering.com			



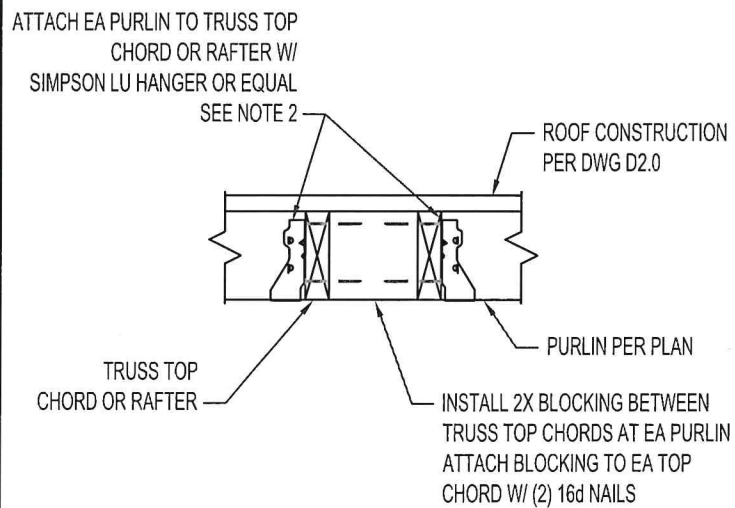
DETAIL 1.2
POST EMBEDMENT DETAIL
CONCRETE BACKFILL



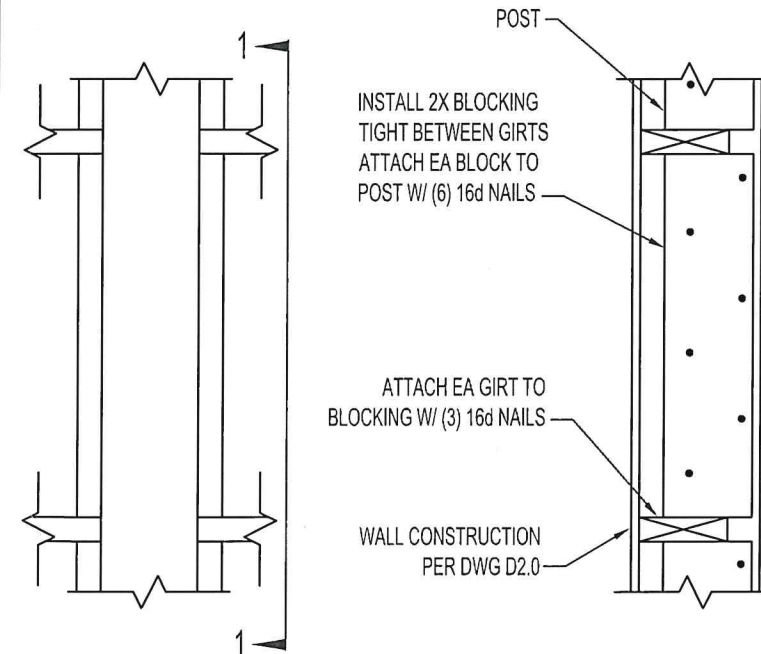
DETAIL 1.3
PURLINS STACKED AND BUTTED



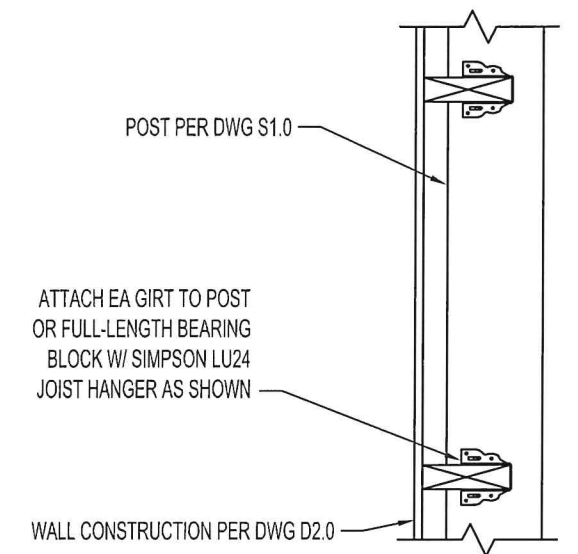
DETAIL 1.4
PURLINS STACKED AND OVERLAPPED



DETAIL 1.5
PURLINS INSTALLED WITH JOIST HANGERS



DETAIL 1.7
COMMERCIAL GIRT INSTALLATION



DETAIL 1.8
ALTERNATE COMMERCIAL GIRT INSTALLATION

GENERAL NOTES

1. ALL NAILS INTO PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED
2. IF PURLIN DEPTH EXCEEDS TRUSS TOP CHORD DEPTH, USE SIMPSON JB TOP FLANGE HANGER OR EQUAL

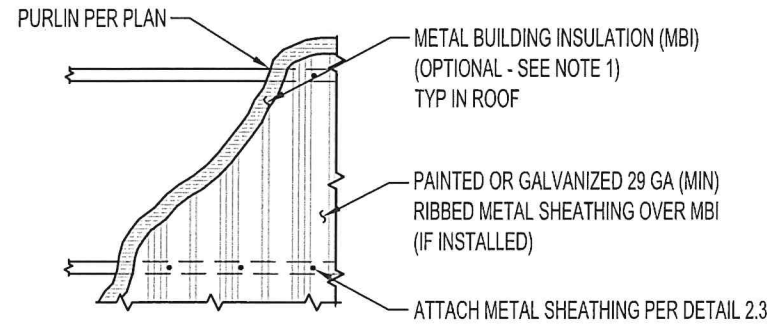


POSTHOLE, PURLIN & GIRT DETAILS

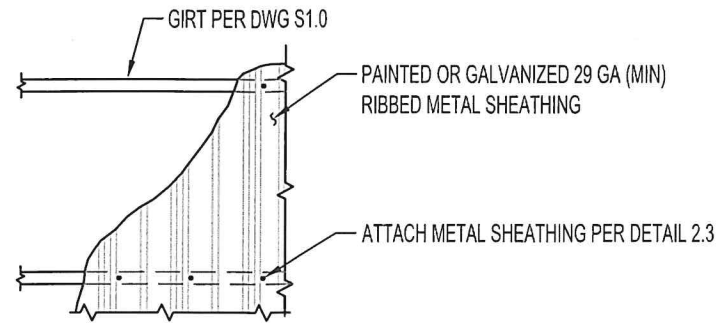
DRAWING NO.: D1.0	OWNER: CHRIS CASHEN
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PROJECT NO.: 12401006	ALBANY, OR. 97322
DATE: 11 JAN 2024	SCALE: NTS DRAWN BY: LD



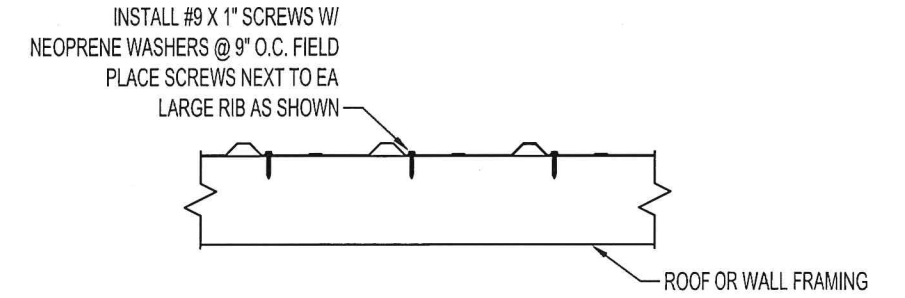
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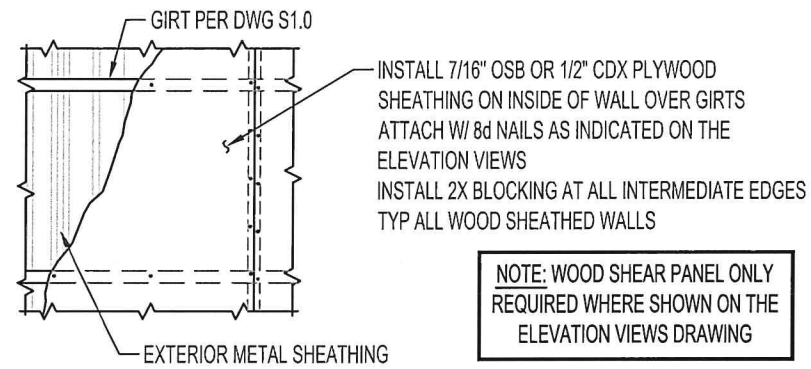
DETAIL 2.1
ROOF SHEATHING



DETAIL 2.2
WALL SHEATHING



DETAIL 2.3
SCALE X2
METAL SHEATHING ATTACHMENT
STANDARD SCREW SCHEDULE



**NOTE: WOOD SHEAR PANEL ONLY
REQUIRED WHERE SHOWN ON THE
ELEVATION VIEWS DRAWING**

DETAIL 2.4
INSIDE WOOD SHEATHED SHEAR PANEL

GENERAL NOTES

- METAL BUILDING INSULATION IS NOT REQUIRED BUT IS RECOMMENDED TO REDUCE OR PREVENT CONDENSATION



SHEATHING DETAILS			
DRAWING NO.: D2.0	OWNER: CHRIS CASHEN		
REV.: 0	SHEET: 6	LOCATION: 2333 WAVERLY DR. SE	
PROJECT NO.: 12401006		ALBANY, OR. 97322	
DATE: 11 JAN 2024	SCALE: NTS	DRAWN BY: LD	
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