



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Notice of Filing

Site Plan Review – New Construction and Minor Variance

SP-16-23 & VR-03-23

July 19, 2023

The City of Albany Planning Division has received the following APPLICATION. The deadline for submission of written comments is 5:00 p.m. on **August 2, 2023**.

Application Information

Proposal:	Construction of a 14-unit multiple family development with two minor variances to the 10-foot-wide landscape buffer and a reduction to the parking space buffer.
Review Body:	Staff (Type I-L Review)
Property Owner:	3 Lifestyle Holdings LLC; PO Box 3208, Albany, OR 97322
Applicant:	Udell Engineering & Land Surveying, C/O Laura LaRoque, 63 E Ash Street, Lebanon, OR 97355
Address/Location:	2018 Geary Street SE, Albany, OR 97322
Map/Tax Lot:	Linn County Assessor's Map No. 11S-03W-08CC; Tax Lot 801
Zoning:	Residential Medium Density (RM)
Comprehensive Plan:	Residential Medium Density
Overlay Districts:	None

The City of Albany has received the development application referenced above. We are mailing notice of the application to property owners within 300 feet of the proposed development. We invite your written comments on this application. This application is subject to the Type I-L procedure identified in Section 1.100(2) of the Albany Development Code (ADC). Type I-L decisions are made by the Community Development Director after the notice period. Written comments must relate to the approval standards listed below. Issues, which may provide the basis for an appeal to the Planning Commission, must be raised in writing and with sufficient detail to allow the City to respond. The deadline for submission of written comments is 5:00 p.m. on **August 2, 2023**, 14 days from the date the City mails the notice of filing. Any person submitting written comments will receive a copy of the notice of decision.

All application materials are available for review at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please contact **Alyssa Schrems, project planner**, at 541-791-0176 or alyssa.schrems@cityofalbany.net. Submit any written comments to the Planning Division; PO Box 490, Albany, OR 97321.

Approval Standards for This Request

Review Criteria- All Site Plan Review Applications (ADC 2.450)

Site Plan Review approval will be granted if the review body finds that the application conforms with the Albany Development Code and meets all of the following criteria that are applicable to the proposed development.

- (1) The application is complete in accordance with the applicable requirements.
- (2) The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.
- (3) Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (4) The application complies with all applicable Design Standards of Article 8.
- (5) The application complies with all applicable Design Standards of Article 10.
- (6) The application complies with all applicable On-Site Development and Environmental Standards of Article 9.
- (7) The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.
- (8) The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.
- (9) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (10) The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.
- (11) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.330.

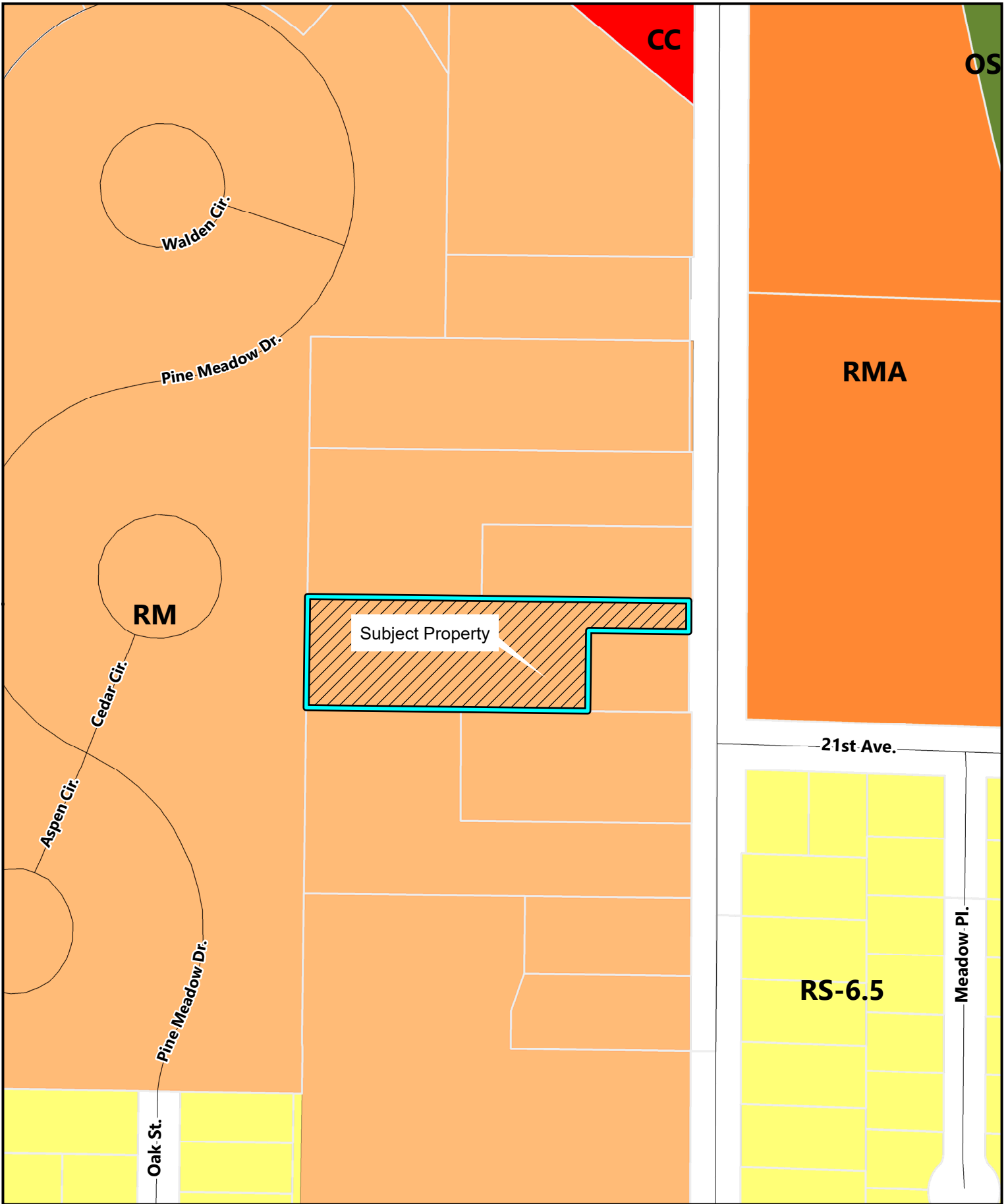
Review Criteria- Minor Variances (ADC 2.696)

The applicant must show that the following criteria have been met:

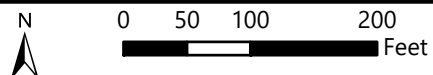
- (1) The Minor Variance is not requested to avoid a land use review process or increase density; AND
- (2) The need for the Minor Variance is created by the unusual configuration of the property, to protect natural features, due to the location of an existing structure on the site, or the site is an infill or redevelopment site less than one acre with development on both sides; AND
- (3) The Minor Variance is the minimum necessary to address the unusual circumstance, generally no more than 10 percent from a numeric standard, and the request is still consistent with the purpose of the zoning district and any applicable overlay districts.

Additional review standards for this Land Use Review application are found in ADC Articles 1, 2, 3, 8, 9, and 12.

Attachments: Location Map, Applicant's Site Plan



\\con.cityofalbany.net\homes\p\sys\sos\Desktop\Notice Map Template.mxd



Date: 6/29/2023 Map Source: City of Albany

2018 Geary St SE

Location Map

PROPERTY
 TAX MAP: 115-03W-08CC
 TAX LOT: 00801
 SITE ADDRESS: 2018 GEARY ST SE
 ALBANY, OR 97321

DEVELOPER
 3LIFESTYLE HOLDINGS, LLC
 C/O: MATTHEW FITCHETT
 PO BOX 3208
 ALBANY, OREGON 97321
 (541) 991-5191

OWNER
 3LIFESTYLE HOLDINGS, LLC
 C/O: MATTHEW FITCHETT
 PO BOX 3208
 ALBANY, OREGON 97321
 (541) 991-5191

EXISTING SYMBOL LEGEND

	(E) POWER POLE W/DROP
	FINISH FLOOR ELEVATION
	(E) POWER PEDESTAL
	(E) SANITARY MANHOLE
	(E) TREE ARBORVITAE
	(E) TREE DECIDUOUS
	(E) SANITARY SEWER LOCATE PAINT
	(E) CONCRETE
	(E) GRAVEL
	(E) EASEMENT
	(E) CHAINLINK FENCE
	(E) WOOD FENCE
	(E) WIRE FENCE
	(E) UNDERGROUND POWER LOCATE
	(E) OVERHEAD POWER
	(E) GAS LINE LOCATE

ABBREVIATIONS LEGEND

(E)	EXISTING
(P)	PROPOSED
BLDG	BUILDING
CONC	CONCRETE
CS	COUNTY SURVEY
FD	FOUND
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
IE	INVERT ELEVATION (FLOW LINE)
IR	IRON ROD
IP	IRON PIPE
LP/PP	POWER POLE WITH STREET LAMP
MH	MANHOLE
RPC	RED PLASTIC CAP
R/W	RIGHT-OF-WAY
SS	SANITARY SEWER

NOTE:
 WATER AND SEWER LATERALS
 LOCATED BY COUNTY GIS AND
 STORM DRAIN.

TREE LEGEND

	EXISTING DECIDUOUS TREE TO REMAIN
	EXISTING EVERGREEN TREE TO REMAIN
	EXISTING TREE TO BE REMOVED

GENERAL DEMOLITION NOTES:

- 1) THE CONTRACTOR SHALL DISPOSE OF THE MATERIALS GENERATED BY DEMOLITION OFFSITE IN AN APPROVED DUMP SITE CONFORMING WITH APPLICABLE CITY, COUNTY AND/OR STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN ACCESSORY PERMITS FOR DEMOLITION AND FOR DISPOSAL.
- 2) ALL DEMOLITION TO OCCUR PER REQUIREMENTS OF CITY OF ALBANY, LINN COUNTY, AND/OR STATE OF OREGON REQUIRED PERMITS.
- 3) EXISTING FEATURES AND BURIED PIPES NOT SPECIFICALLY IDENTIFIED ON THIS PLAN TO BE REMOVED BUT THAT ARE REQUIRED TO BE REMOVED FOR COMPLETION OF THIS PROJECT SHALL BE REMOVED AND DISPOSED OF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND COORDINATE NECESSARY DEMOLITION WITH THE PHASE CONSTRUCTION.

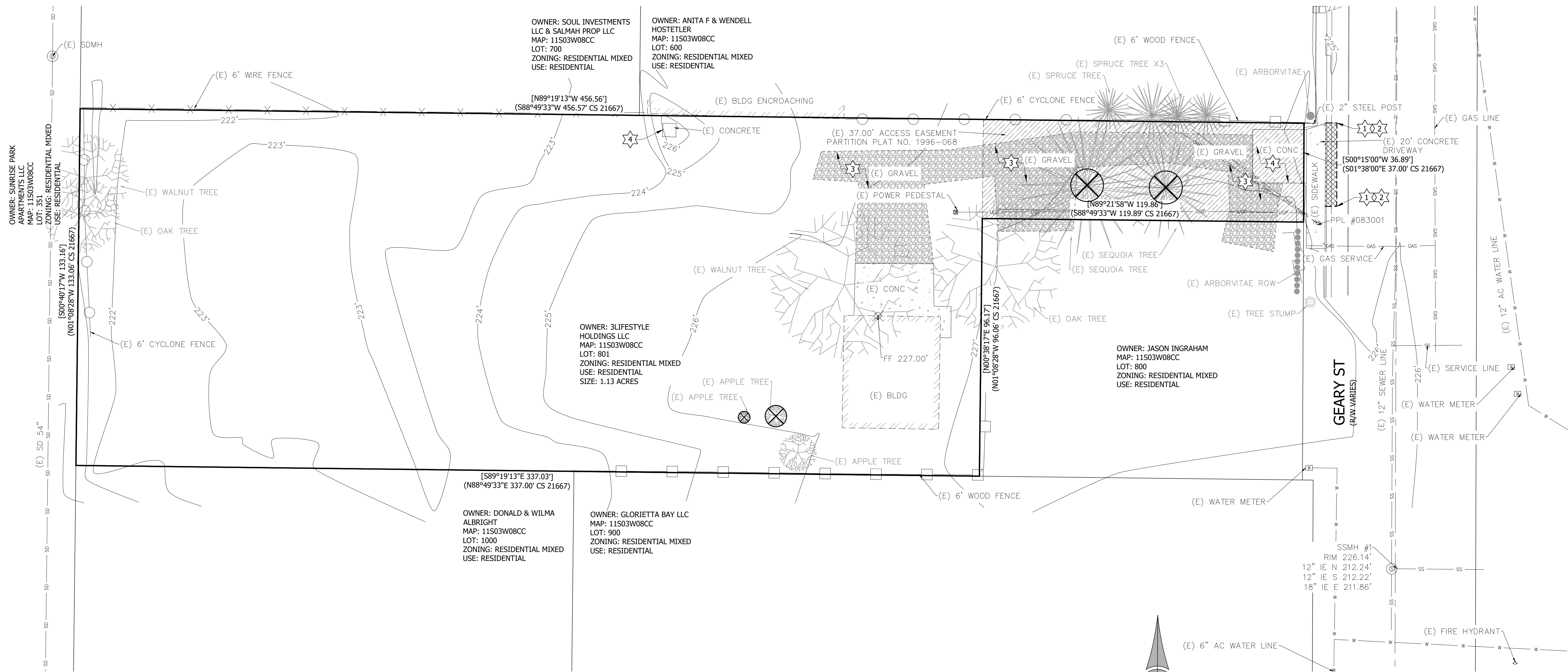
PROJECT VERTICAL DATUM -- NGVD 29
 ALL ELEVATIONS ARE SHOWN ON THE VERTICAL DATUM OF NGVD 29. ELEVATIONS LABELED FOR EXISTING UTILITIES AND STRUCTURES ARE BASED FROM COLLECTION OF SURVEY DATA BY UDELL ENGINEERING AND LAND SURVEYING, LLC.

THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER AT (503) 232-1987.

DEMOLITION NOTES

	SAWCUT AND REMOVE A 2.0 FOOT STRIP OF EXISTING PAVEMENT TO ACCOMMODATE REMOVING AND REPLACING EXISTING DRIVEWAY.
	SAWCUT EXISTING CURB AND GUTTER AT NEAREST JOINT TO ACCOMMODATE REPLACING EXISTING DRIVEWAY.
	REMOVE AND DISPOSE EXISTING GRAVEL PER CITY, COUNTY AND STATE REGULATIONS.
	REMOVE AND DISPOSE EXISTING CONCRETE PER CITY, COUNTY AND STATE REGULATIONS.



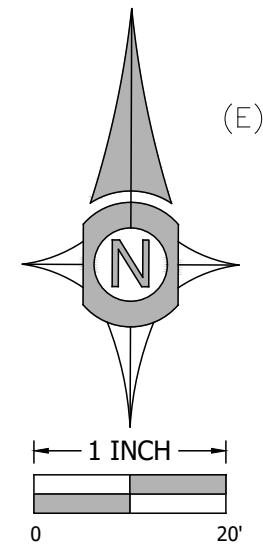
CLIENT:
 3LIFESTYLE HOMES
 C/O: MATTHEW FITCHETT
 PO BOX 3208
 ALBANY, OR 97321
 (541) 990-5191
 MATTHEW@3LIFESTYLEHOMES.COM

UDELL ENGINEERING AND LAND SURVEYING, LLC
 63 EAST ASH ST.
 LEBANON, OREGON 97355
 (541) 451-5125 PH.
 (541) 451-1366 FAX

EXISTING CONDITIONS/DEMO PLAN
 3LIFESTYLE HOLDINGS, LLC
 2018 GEARY ST. SE
 MULTI-FAMILY
 ALBANY, OR 97321

DATE:	MAY 31, 2023
PROJECT:	22-281 3LIFESTYLE
DRAWN BY:	NDJ
CHECKED BY:	BSV

**REVIEW COPY
 NOT FOR
 CONSTRUCTION**



PLAN REVISIONS	DATE

Sheet **C100**
 SCALE: SEE BARSCALE

PARKING SUMMARY:

2-BEDROOM:
 10 UNITS * 1.5 SPACES/UNIT
 + 10 UNITS * 1 SPACE/4 UNITS
 17.5 SPACES

1-BEDROOM:
 4 UNITS * 1 SPACES/UNIT
 + 4 UNITS * 1 SPACE/4 UNITS
 5 SPACES

23 TOTAL SPACES
 32 PROPOSED SPACES

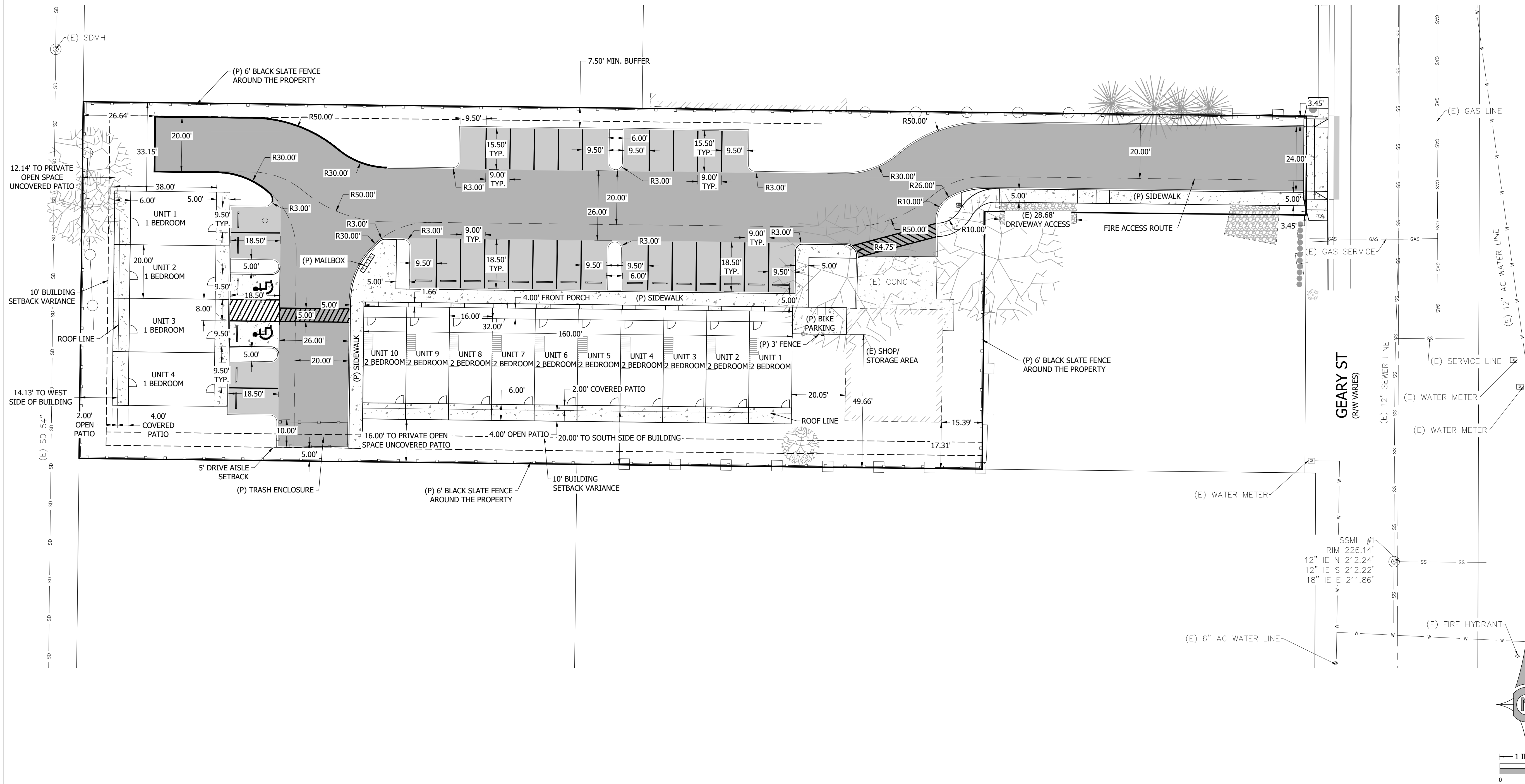
BIKE PARKING:

14 UNITS * 1 SPACE/4 UNITS
 4 SPACES

IMPERVIOUS AREA:

(E) 0.05 AC TO REMAIN
 (E) 0.09 AC TO BE REMOVED
 12% OF LOT IS IMPERVIOUS

(P) 0.74 AC TO BE ADDED
 69.9% OF LOT TO BE IMPERVIOUS



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UDELL ENGINEERING AND LAND SURVEYING, LLC
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PRELIMINARY SITE PLAN
 3LIFESTYLE HOLDINGS, LLC
 2018 GEARY ST. SE
 MULTI-FAMILY
 ALBANY, OR 97321

DATE: MAY 31, 2023
 PROJECT: 22-281 3LIFESTYLE
 DRAWN BY: NDJ
 CHECKED BY: ISV

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PLAN REVISIONS	DATE

Sheet **C101**
 SCALE: SEE BARSCALE

PROJECT VERTICAL DATUM -- NGVD 29

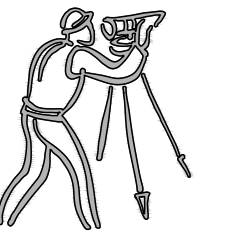
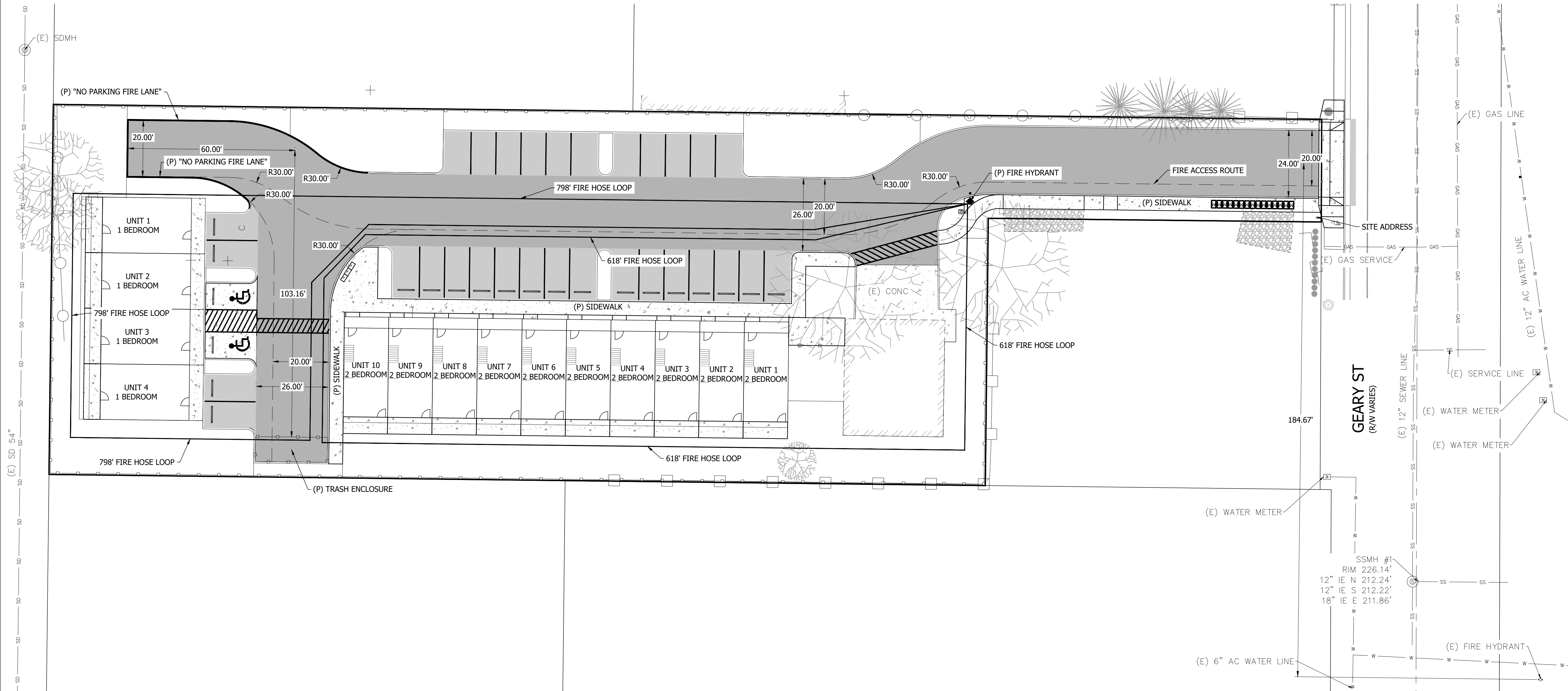
ALL ELEVATIONS ARE SHOWN ON THE VERTICAL DATUM OF NGVD 29. ELEVATIONS LABELED FOR EXISTING UTILITIES AND STRUCTURES ARE BASED FROM COLLECTION OF SURVEY DATA BY UDELL ENGINEERING AND LAND SURVEYING, LLC.

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NOTES:
PUBLIC UTILITY LOCATIONS TO BE DETERMINED WITH BUILDING PERMIT.

PROPOSED FIRE HYDRANT WILL HAVE 1,500+ GPM, AT 20 PSI



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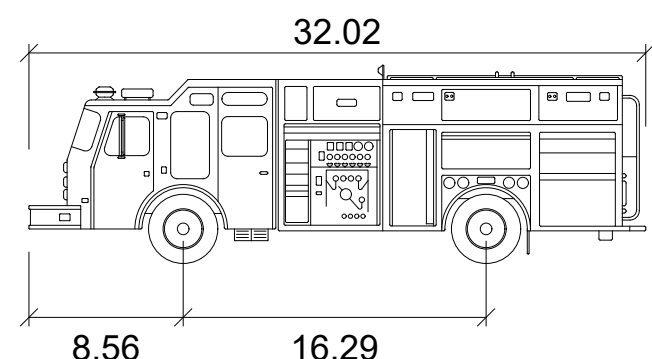
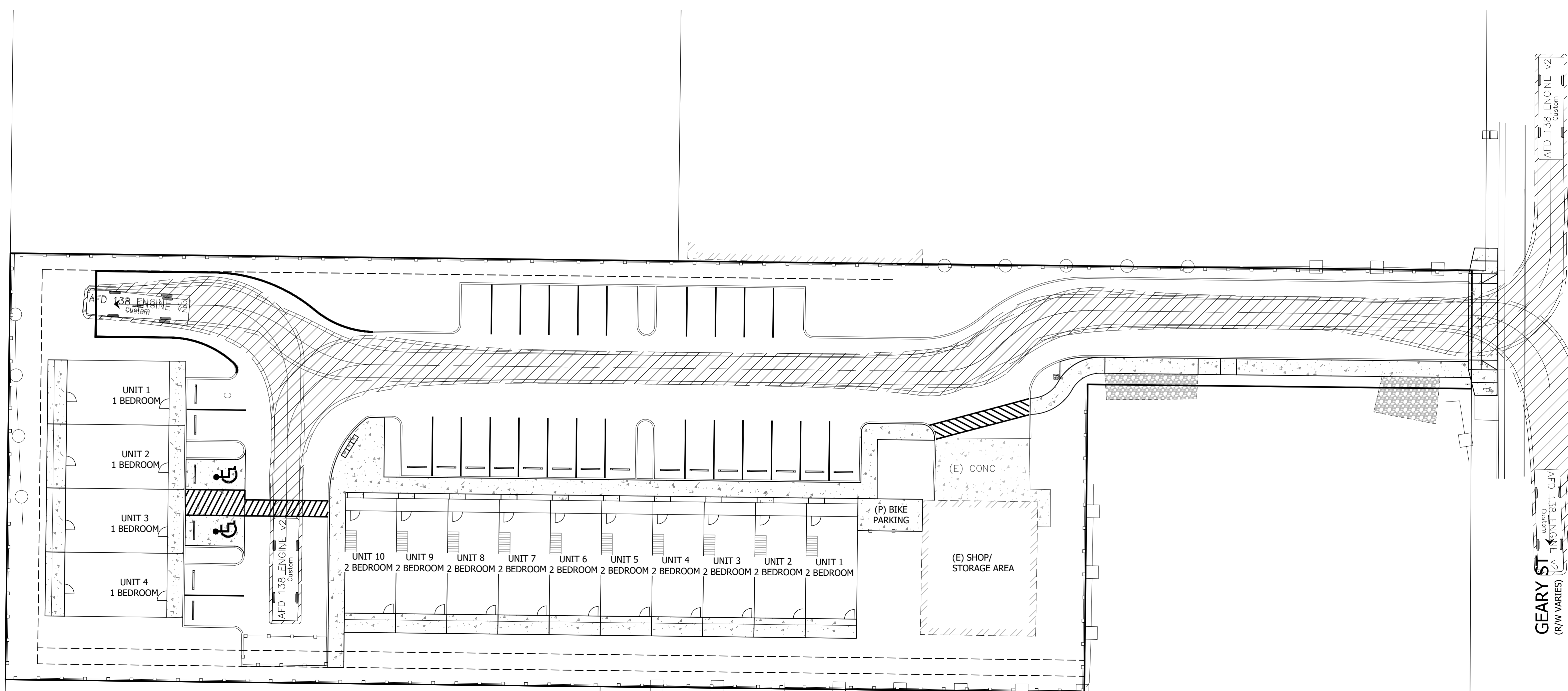
PRELIMINARY FIRE SITE PLAN
3LIFESTYLE HOLDINGS, LLC
2018 GEARY ST. SE
MULTI-FAMILY
ALBANY, OR 97321

DATE: MAY 31, 2023
PROJECT: 22-281 3LIFESTYLE
DRAWN BY: NDJ
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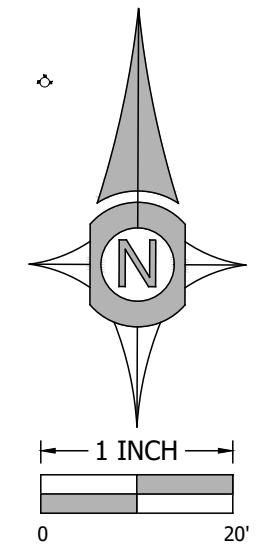
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PLAN REVISIONS	DATE

Sheet **FD1**
SCALE: SEE BARSCALE



AFD 138 ENGINE v2	feet
Width	: 8.00
Track	: 8.17
Lock to Lock Time	: 6.0
Steering Angle	: 45.0



PLAN REVISIONS	DATE

Sheet **FD2**
SCALE: SEE BARSCALE

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AUTOTURN PLAN
3LIFESTYLE HOLDINGS, LLC
2018 GEARY ST. SE
MULTI-FAMILY
ALBANY, OR 97321

DATE: MAY 31, 2023
PROJECT: 22-281 3LIFESTYLE
DRAWN BY: NDJ
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OPEN SPACE SUMMARY:

TOTAL SITE 1.13 ACRES
 15% REQUIRED OPEN SPACE 7383 SQF

PRIVATE OPEN SPACE PER 2-BEDROOM 96 SQF
 PRIVATE OPEN SPACE SINGLE BEDROOM 120 SQF
 TOTAL PRIVATE OPEN SPACE 1440 SQF

COMMON OPEN SPACE 7147 SQF
 PLAYGROUND 402 SQF

TOTAL PROPOSED OPEN SPACE 8989 SQF

LANDSCAPING LEGEND

- OPEN SPACE
- 10' LANDSCAPE BUFFER
- 10' TALL DECIDUOUS TREES NO MORE THEN 30' ON CENTER
- DENSE LANDSCAPING FOR PARKING LOT BUFFER
- 1-GALLON SHRUBS, 10 PER 1000 SQF REQUIRED BUFFER AREA

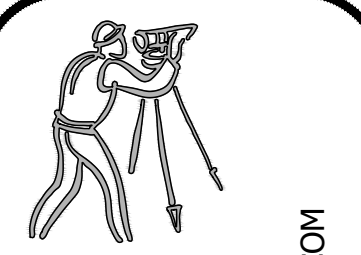
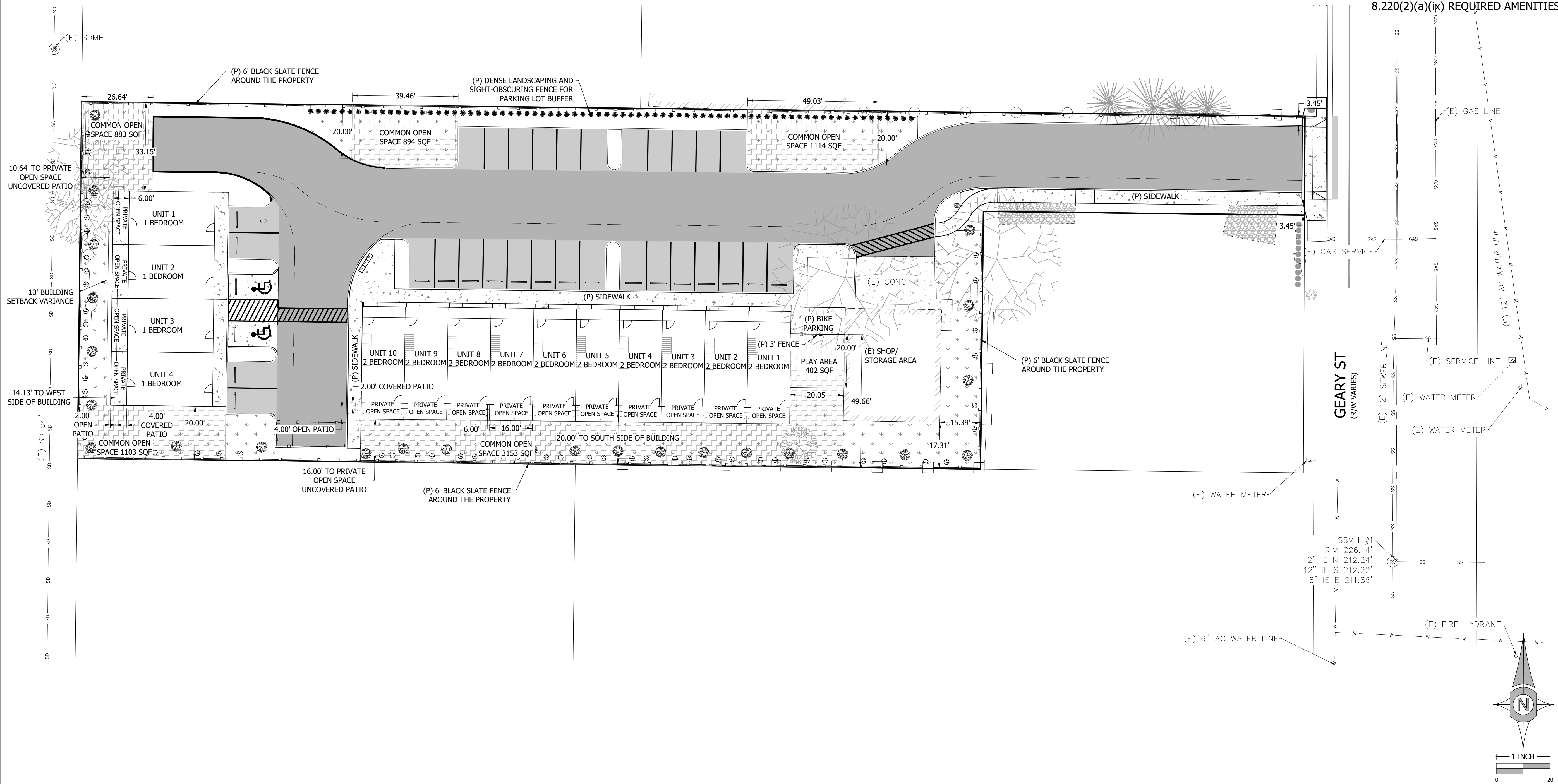
LANDSCAPING NOTE:

LANDSCAPING TO FOLLOW ADC 9.240. REQUIRED BUFFERING TREES AND SHRUBS SUBJECT TO CHANGE AND THUS ALTERING SPACING OR AMOUNT.

OPEN SPACE NOTE:

COMMON OPEN SPACE TO MEET ADC 8.220(2) REQUIRED AMENITIES.

PLAY AREA TO MEET ADC 8.220(2)(a)(ix) REQUIRED AMENITIES.



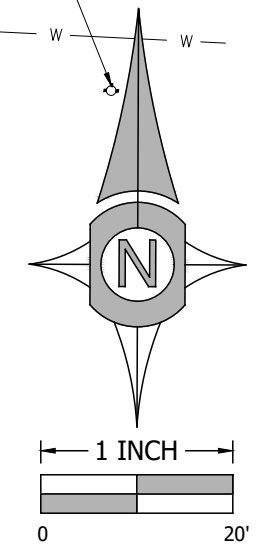
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PRELIMINARY LANDSCAPE PLAN
 3LIFESTYLE HOLDINGS, LLC
 2018 GEARY ST. SE
 MULTI-FAMILY
 ALBANY, OR 97321

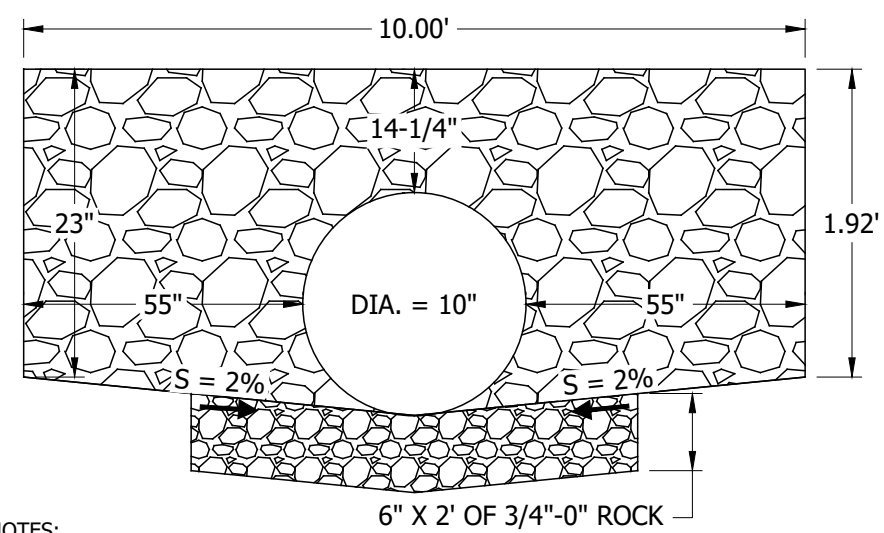
DATE: MAY 31, 2023
 PROJECT: 22-281 3LIFESTYLE
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PLAN REVISIONS	DATE

Sheet **C103**
 SCALE: SEE BARSCALE



- NOTES:
 1) ROCK AROUND PIPE TO HAVE 50% MIN. VOIDS.
 2) PIPE TO BE CENTERED.
 3) WRAP ROCK IN ADS GEOSYNTHETICS 315WTK WOVEN GEOTEXTILE FABRIC.

1 DETENTION SECTION VIEW
C300 NTS

WATER DETENTION:

WATER DETENTION TO BE UNDERGROUND. SEE DETAIL 1 SHEET C300 FOR PRELIMINARY UNDERGROUND DETENTION CROSS SECTION.

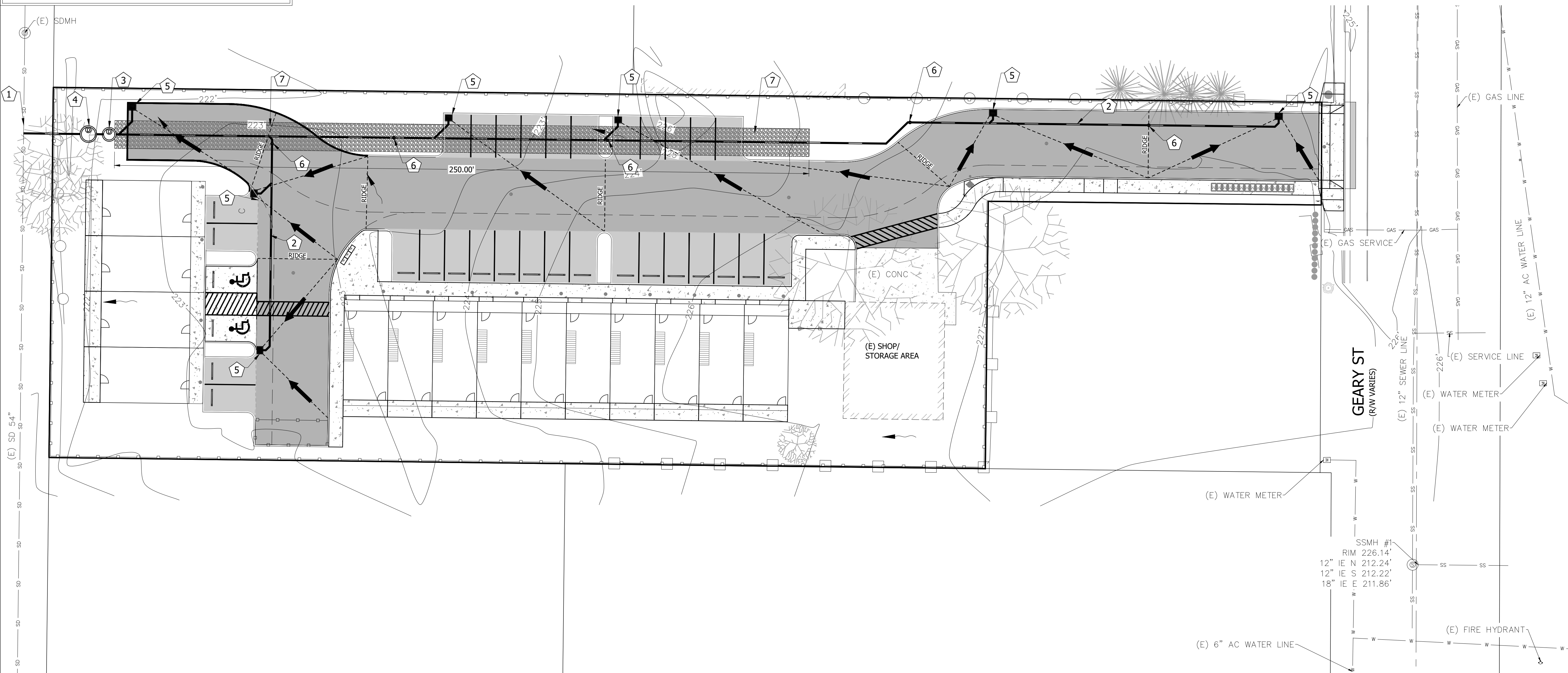
WATER DETENTION:

STORM PIPE SIZING TO BE EVALUATED FULLY DURING FINAL ENGINEERING USING RATIONAL METHOD AND CITY OF ALBANY STANDARDS.

STORM DRAIN NOTES	
1	CONNECT TO EXISTING STORM DRAIN PIPE.
2	INSTALL PRIVATE STORM DRAIN PIPE.
3	INSTALL PRIVATE FLOW CONTROL MANHOLE.
4	INSTALL PRIVATE WATER QUALITY MANHOLE WITH CONTECH STORMFILTER CARTRIDGES.
5	INSTALL PRIVATE CATCH BASIN.
6	INSTALL PRIVATE CLEANOUT.
7	INSTALL UNDERGROUND WATER DETENTION PER DETAIL 1 SHEET C200.

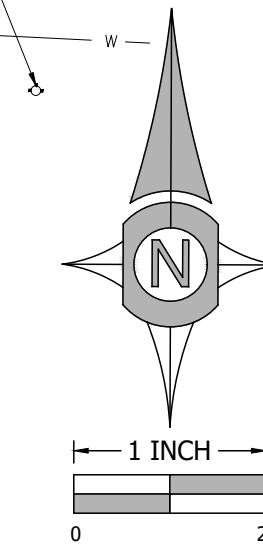
GRADING LEGEND

- 36.2 — EXISTING SURFACE CONTOUR ELEVATION
- EXISTING SURFACE DRAIN DIRECTION
- DESIGN SURFACE DRAIN DIRECTION



GEARY ST
 (R/W VARIES)

SSMH #1
 RIM 226.14'
 12" IE N 212.24'
 12" IE S 212.22'
 18" IE E 211.86'



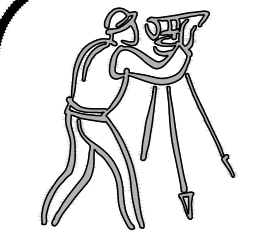
DOWNSPOUT NOTE:

CONNECT ALL ROOF DOWNSPOUTS TO PIPED STORM DRAIN SYSTEM WITH MANUFACTURED FITTING PER CURRENT STATE OF OREGON PLUMBING SPECIALTY CODE.

ATTENTION

CONTRACTOR SHALL POT HOLE EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. REPORT FINDINGS TO ENGINEER.

PLAN REVISIONS	DATE



CLIENT:
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PRELIMINARY GRADING & DRAINAGE PLAN
 3LIFESTYLE HOLDINGS, LLC
 2018 GEARY ST. SE
 MULTI-FAMILY
 ALBANY, OR 97321

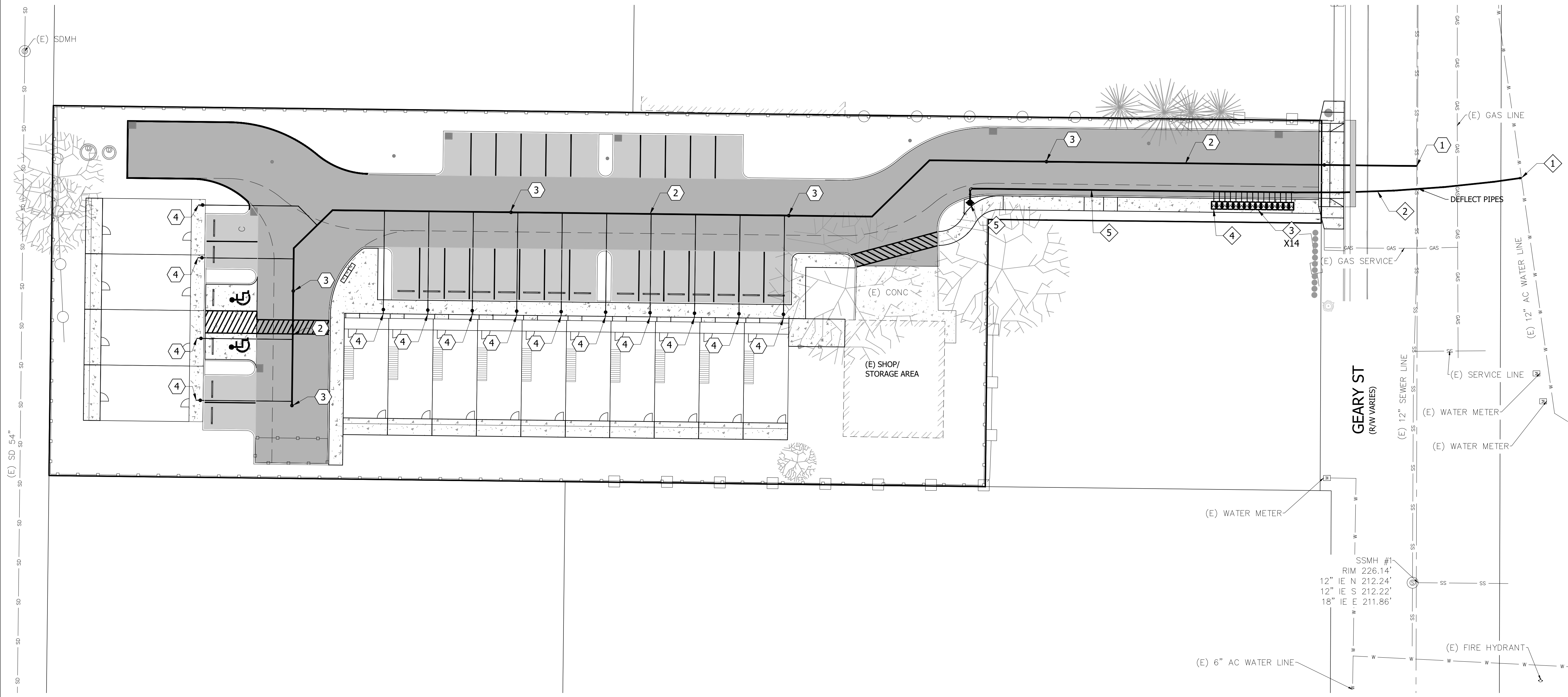
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Sheet **C200**
 SCALE: SEE BARSCALE

PRIVATE SEWER NOTES	
1	CONNECT TO EXISTING CITY SEWER MAINLINE.
2	INSTALL PRIVATE 6-INCH SANITARY SEWER.
3	INSTALL PRIVATE SANITARY SEWER CLEANOUT.
4	INSTALL PRIVATE SANITARY SEWER LATERAL WITH CLEANOUT.

PUBLIC WATER NOTES	
1	HOT TAP INTO EXISTING CITY WATER LINE.
2	INSTALL PUBLIC DUCTILE IRON WATERLINE.
3	INSTALL PRIVATE COPPER WATER SERVICE AND METER - SIZE TO BE DETERMINED WITH BUILDING PERMIT SUBMITTAL.
4	INSTALL PRIVATE WATER SERVICE FOR IRRIGATION - SIZE TO BE DETERMINED WITH BUILDING PERMIT SUBMITTAL.
5	INSTALL PRIVATE FIRE HYDRANT ASSEMBLY.



ATTENTION
 CONTRACTOR SHALL POTHOLE EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. REPORT FINDINGS TO ENGINEER.

PLAN REVISIONS	DATE

Sheet **C400**
 SCALE: SEE BARSCALE

CLIENT:
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PRELIMINARY UTILITY PLAN
 3LIFESTYLE HOLDINGS, LLC
 2018 GEARY ST. SE
 MULTI-FAMILY
 ALBANY, OR 97321

DATE: MAY 31, 2023
 PROJECT: 22-281 3LIFESTYLE
 DRAWN BY: NDJ
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