



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING & PLANNING 541-917-7550

Revised Notice of Decision

Site Plan Review & Minor Variances

SP-16-23/VR-03-23

August 31, 2023

Application Information

Proposal:	Site Plan Review for construction of a 14-unit multiple family development with two minor variances to the 10-foot-wide landscape buffer and a reduction to the parking space buffer.
Review Body:	Staff (Type I-L review)
Property Owner	3 Lifestyle Holdings LLC; PO Box 3208, Albany, OR 97322
Applicant	Udell Engineering & Land Surveying, C/O Laura LaRoque, 63 E Ash Street, Lebanon, OR 97355
Address/Location:	2018 Geary Street SE, Albany, OR 97322
Map/Tax Lot:	Linn County Assessor's Map No. 11S-03W-08CC; Tax Lot 801
Zoning:	Residential Medium Density (RM)
Existing Land Use:	Developed with an outbuilding

On August 30, 2023, the City of Albany Community Development Director granted **APPROVAL WITH CONDITIONS** of the applications referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC) **with an effective date of December 28, 2022**. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. Conditions of approval are attached to this notice. For more information, please contact the project planner, **Alyssa Schrems** at 541-791-0176 or Current Planning Manager David Martineau at 541-917-7555.

The City's decision may be appealed to the Planning Commission if a person with standing files a Notice of Intent to Appeal not later than 10 days after the Director's notice of decision is mailed [ADC 1.330(5)(a)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City.

Signature on file

Community Development Director

Appeal Deadline: September 11, 2023

Approval Expiration Date (if not appealed): August 30, 2026

Attachments: Information for the Applicant, Location Map, Site Plan

Conditions of Approval

- Condition 1 Site Improvements.** Before the City will issue a final certificate of occupancy for the proposed structure(s), all proposed and site improvements identified to the site plan (e.g., driveways, landscaping, lighting, etc.) shall be constructed and completed in accordance with approved plans. Landscaping may be financially secured through a completion guarantee, per ADC 9.190.
- Condition 2 Screening of Refuse Containers.** Before the City will issue a final certificate of occupancy for the proposed structure(s), the applicant must provide screening of the refuse containers in compliance with ADC 3.390.
- Condition 3 Children's Play Area.** Before the City will issue any certificate of occupancy for the proposed structure(s), the applicant shall provide a final plan for the children's play area in compliance with ADC 8.220(2)(a)(ix) to be approved by staff and constructed accordingly.
- Condition 4 Bicycle Parking.** Before the City will issue any certificate of occupancy for the proposed structure(s), the applicant shall provide evidence that required bicycle parking meets the standards of ADC 9.120(13) by installing secured parking racks for each space and installing shelter for three spaces (one half of the required bicycle parking).
- Condition 5 Parking.** A separate parking lot permit must be obtained for the proposed development, detailing the conformance to ADC 9.120 and 9.130. Before the City will issue a final certificate of occupancy for the proposed structures, the parking lot shall be installed and approved.
- Condition 6 Landscaping and Irrigation System.** Before the City will issue any certificate of occupancy for the proposed structure(s), the applicant shall provide a landscape plan, which shall include planter bays in conformance with ADC 9.150(1), and either an irrigation plan or a letter from a qualified landscape professional stating irrigation is not required per ADC 9.160.
- Condition 7 Lighting.** Before the City will issue an electrical permit for the proposed development, the applicant shall provide a lighting plan, detailing the compliance with ADC 9.120(14).
- Condition 8 Public Works.** Before the City will issue any occupancy permit for the proposed project, the applicant must obtain a stormwater quality permit through the City's Public Works Department and construct stormwater quality facilities that comply with the City's Engineering Standards.
- Condition 9 Public Works.** Before any work is done on or around a public water main for the installation of fire protection, the applicant must obtain a Site Improvement Permit from the Public Works Department.
- Condition 10 Public Works.** Before the City will issue any occupancy permit for the proposed project, the applicant must construct stormwater detention facilities that comply with the City's Engineering Standards.
- Condition 11 Public Works.** Before any work in the public right-of-way for installation of sewer lateral, an encroachment permit must be obtained from the Public Works Department.
- Condition 12 Transportation.** Prior to issuance of any certificate of occupancy for the structure(s), the applicant shall construct a new driveway approach to Geary Street at the size and location shown on the approved site plan, together with public sidewalk along the site's remaining frontage.

The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or Development Code regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

Planning

1. Land use approval does not constitute Building or Public Works permit approvals.
2. Construction of the development must substantially conform to the approved Site Plan Review.
3. This proposal must be initiated within three years of the date of this letter of approval.

Building

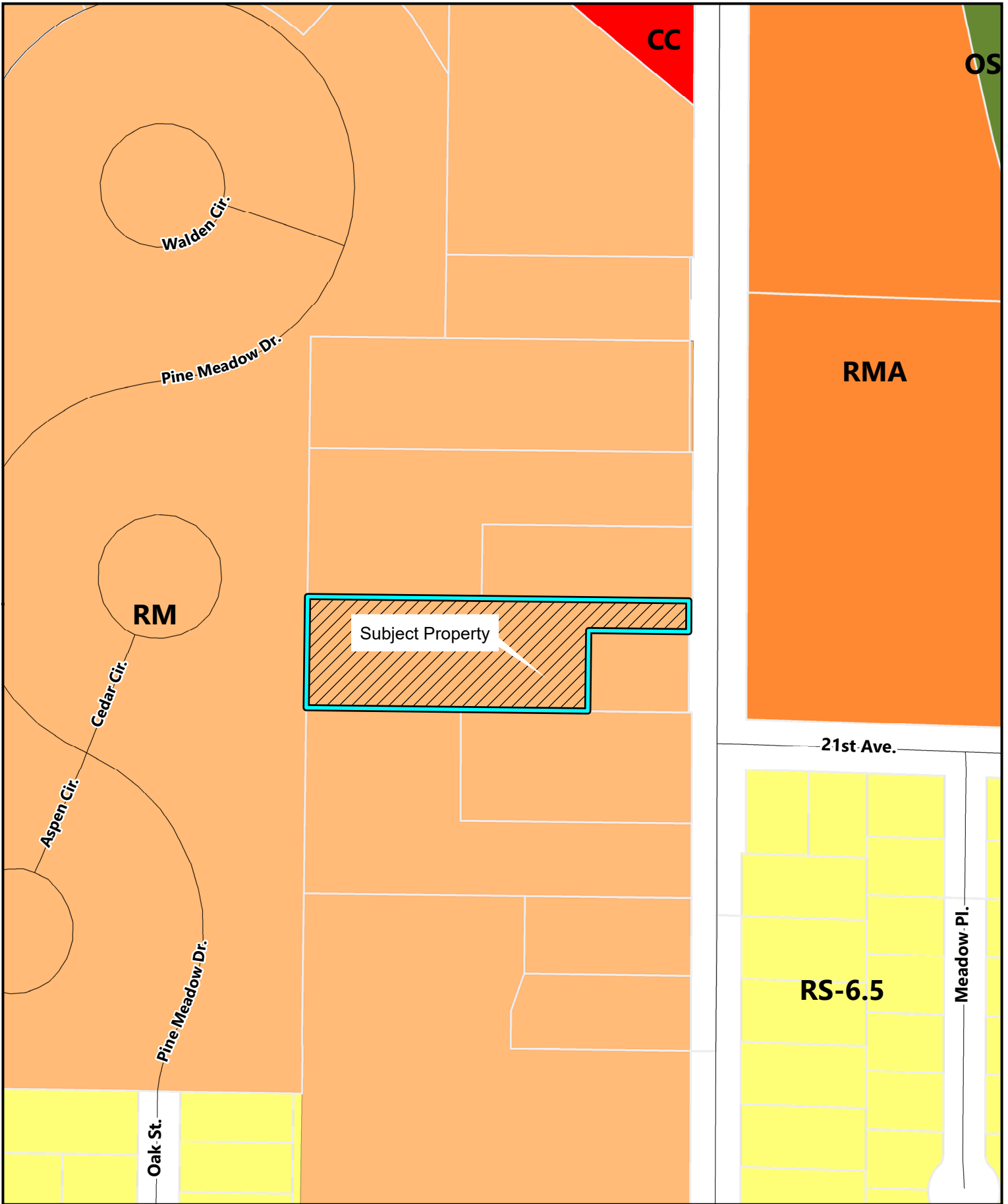
1. The proposed project will require permits that will need to be applied for at www.cityofalbany.net/permits. For questions about permitting requirements, please email cd.customerservice@cityofalbany.net.
2. The proposed design has not been reviewed for code compliance with the Oregon Building Code and the design will need to meet the applicable Oregon Building Code requirement in effect at time of application.

Engineering

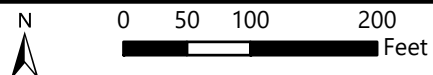
1. The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.
2. No unauthorized person is allowed to make a connection to any public sewer or appurtenance without first obtaining the appropriate permits through the City's Public Works Department.
3. The development shall comply with all applicable codes and ordinances, including AMC 12.10.010.

Fire

1. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the property as measured by an approved route of travel around the exterior of the structure. (OFC 503.1.1)
2. Dead-end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus (OFC 503.2.5 and D103.4)
3. This proposed project is located within a "Protected Area" as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area is currently served by a public water system. The Fire Flow required shall be as specified in Appendix B of the fire code. (OFC 507.3).



\\con.cityofalbany.net\homes\p\sys\sos\Desktop\Notice Map Template.mxd



Date: 6/29/2023 Map Source: City of Albany

2018 Geary St SE

Location Map

PROPERTY
 TAX MAP: 115-03W-08CC
 TAX LOT: 00801
 SITE ADDRESS: 2018 GEARY ST SE
 ALBANY, OR 97321

DEVELOPER
 3LIFESTYLE HOLDINGS, LLC
 C/O: MATTHEW FITCHETT
 PO BOX 3208
 ALBANY, OREGON 97321
 (541) 991-5191

OWNER
 3LIFESTYLE HOLDINGS, LLC
 C/O: MATTHEW FITCHETT
 PO BOX 3208
 ALBANY, OREGON 97321
 (541) 991-5191

EXISTING SYMBOL LEGEND

	(E) POWER POLE W/DROP
	FINISH FLOOR ELEVATION
	(E) POWER PEDESTAL
	(E) SANITARY MANHOLE
	(E) TREE ARBORVITAE
	(E) TREE DECIDUOUS
	(E) SANITARY SEWER LOCATE PAINT
	(E) CONCRETE
	(E) GRAVEL
	(E) EASEMENT
	(E) CHAINLINK FENCE
	(E) WOOD FENCE
	(E) WIRE FENCE
	UGP (E) UNDERGROUND POWER LOCATE
	OHP (E) OVERHEAD POWER
	GAS (E) GAS LINE LOCATE

ABBREVIATIONS LEGEND

(E)	EXISTING
(P)	PROPOSED
BLDG	BUILDING
CONC	CONCRETE
CS	COUNTY SURVEY
FD	FOUND
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
IE	INVERT ELEVATION (FLOW LINE)
IR	IRON ROD
IP	IRON PIPE
LP/PP	POWER POLE WITH STREET LAMP
MH	MANHOLE
RPC	RED PLASTIC CAP
R/W	RIGHT-OF-WAY
SS	SANITARY SEWER

NOTE:
 WATER AND SEWER LATERALS
 LOCATED BY COUNTY GIS AND
 STORM DRAIN.

TREE LEGEND

	EXISTING DECIDUOUS TREE TO REMAIN
	EXISTING EVERGREEN TREE TO REMAIN
	EXISTING TREE TO BE REMOVED

GENERAL DEMOLITION NOTES:

- 1) THE CONTRACTOR SHALL DISPOSE OF THE MATERIALS GENERATED BY DEMOLITION OFFSITE IN AN APPROVED DUMP SITE CONFORMING WITH APPLICABLE CITY, COUNTY AND/OR STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN ACCESSORY PERMITS FOR DEMOLITION AND FOR DISPOSAL.
- 2) ALL DEMOLITION TO OCCUR PER REQUIREMENTS OF CITY OF ALBANY, LINN COUNTY, AND/OR STATE OF OREGON REQUIRED PERMITS.
- 3) EXISTING FEATURES AND BURIED PIPES NOT SPECIFICALLY IDENTIFIED ON THIS PLAN TO BE REMOVED BUT THAT ARE REQUIRED TO BE REMOVED FOR COMPLETION OF THIS PROJECT SHALL BE REMOVED AND DISPOSED OF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND COORDINATE NECESSARY DEMOLITION WITH THE PHASE CONSTRUCTION.

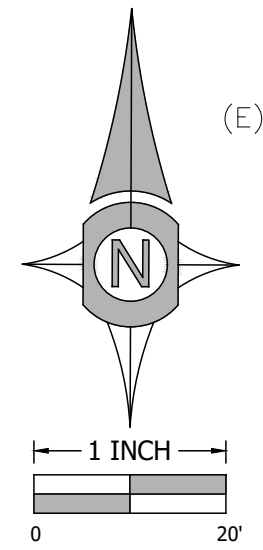
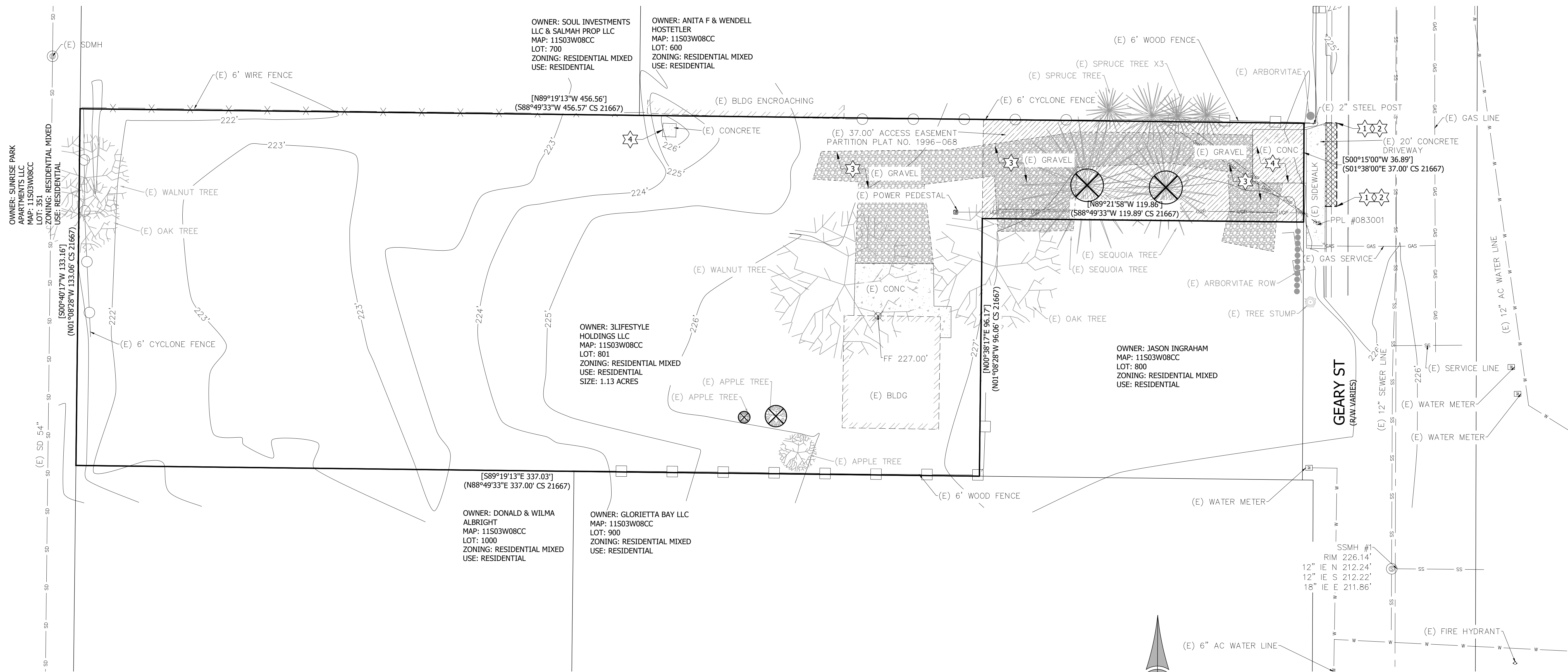
PROJECT VERTICAL DATUM -- NGVD 29
 ALL ELEVATIONS ARE SHOWN ON THE VERTICAL DATUM OF NGVD 29. ELEVATIONS LABELED FOR EXISTING UTILITIES AND STRUCTURES ARE BASED FROM COLLECTION OF SURVEY DATA BY UDELL ENGINEERING AND LAND SURVEYING, LLC.

THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

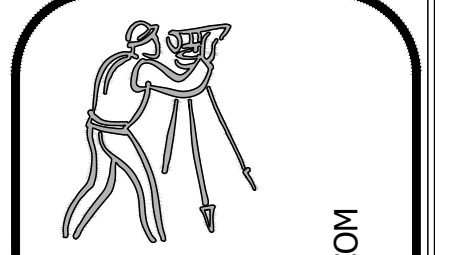
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER AT (503) 232-1987.

DEMOLITION NOTES

	SAWCUT AND REMOVE A 2.0 FOOT STRIP OF EXISTING PAVEMENT TO ACCOMMODATE REMOVING AND REPLACING EXISTING DRIVEWAY.
	SAWCUT EXISTING CURB AND GUTTER AT NEAREST JOINT TO ACCOMMODATE REPLACING EXISTING DRIVEWAY.
	REMOVE AND DISPOSE EXISTING GRAVEL PER CITY, COUNTY AND STATE REGULATIONS.
	REMOVE AND DISPOSE EXISTING CONCRETE PER CITY, COUNTY AND STATE REGULATIONS.



PLAN REVISIONS	DATE



CLIENT:
 3LIFESTYLE HOMES
 C/O: MATTHEW FITCHETT
 PO BOX 3208
 ALBANY, OR 97321
 (541) 990-5191
 MATTHEW@3LIFESTYLEHOMES.COM

UDELL ENGINEERING AND LAND SURVEYING, LLC
 63 EAST ASH ST.
 LEBANON, OREGON 97355
 (541) 451-5125 PH.
 (541) 451-1366 FAX

EXISTING CONDITIONS/DEMO PLAN
 3LIFESTYLE HOLDINGS, LLC
 2018 GEARY ST. SE
 MULTI-FAMILY
 ALBANY, OR 97321

DATE:	MAY 31, 2023
PROJECT:	22-281 3LIFESTYLE
DRAWN BY:	NDJ
CHECKED BY:	BSV

REVIEW COPY NOT FOR CONSTRUCTION

Sheet **C100**
 SCALE: SEE BARSCALE

PARKING SUMMARY:

2-BEDROOM:
 10 UNITS * 1.5 SPACES/UNIT
 + 10 UNITS * 1 SPACE/4 UNITS
 17.5 SPACES

1-BEDROOM:
 4 UNITS * 1 SPACES/UNIT
 + 4 UNITS * 1 SPACE/4 UNITS
 5 SPACES

23 TOTAL SPACES
 32 PROPOSED SPACES

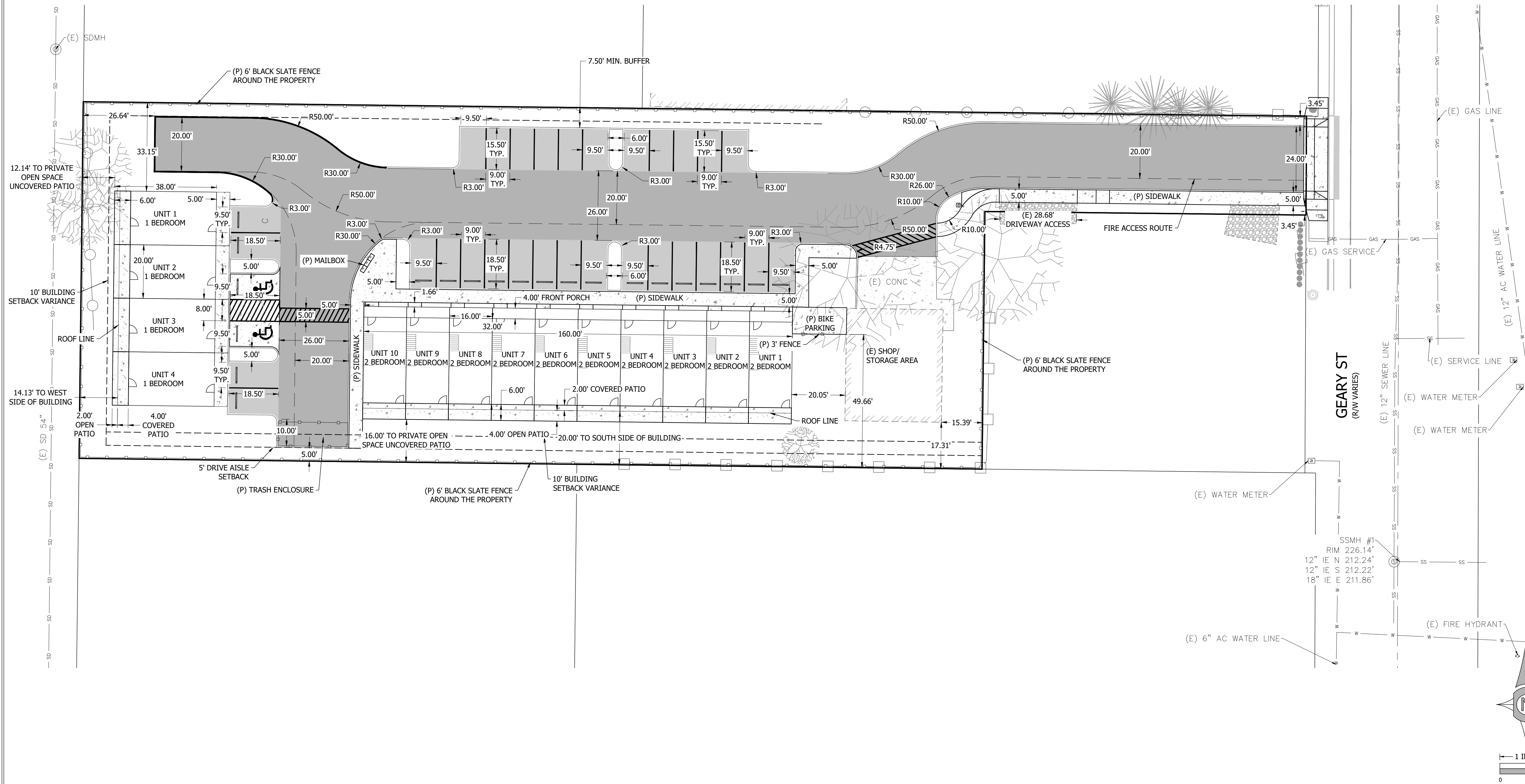
BIKE PARKING:

14 UNITS * 1 SPACE/4 UNITS
 4 SPACES

IMPERVIOUS AREA:

(E) 0.05 AC TO REMAIN
 (E) 0.09 AC TO BE REMOVED
 12% OF LOT IS IMPERVIOUS

(P) 0.74 AC TO BE ADDED
 69.9% OF LOT TO BE IMPERVIOUS



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PRELIMINARY SITE PLAN
 3LIFESTYLE HOLDINGS, LLC
 2018 GEARY ST. SE
 MULTI-FAMILY
 ALBANY, OR 97321

DATE: MAY 31, 2023
 PROJECT: 22-281 3LIFESTYLE
 DRAWN BY: NDJ
 CHECKED BY: ISV

**REVIEW COPY
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 CONSTRUCTION**

PLAN REVISIONS	DATE

Sheet **C101**
 SCALE: SEE BARSCALE

PROJECT VERTICAL DATUM -- NGVD 29

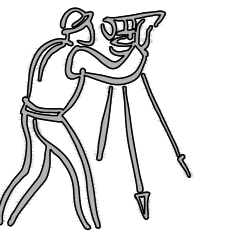
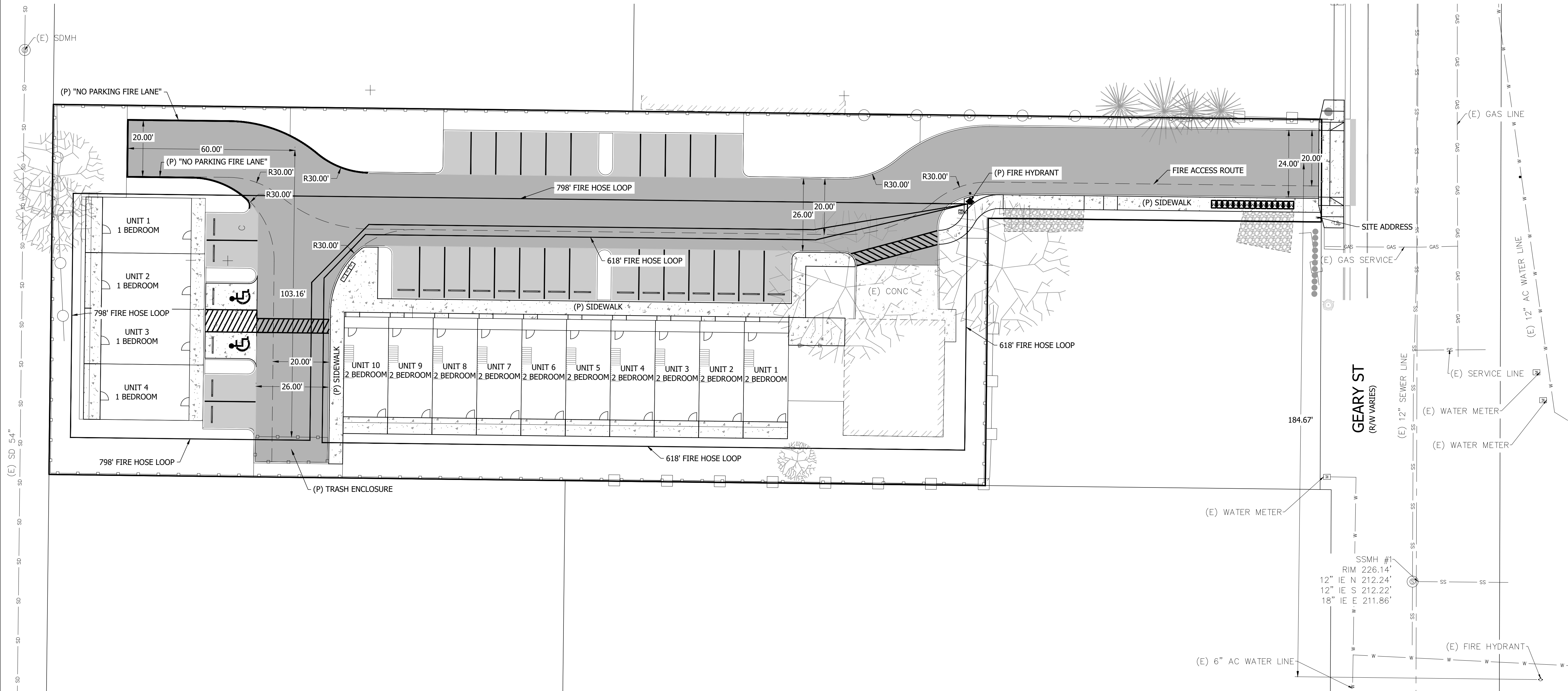
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NOTES:
PUBLIC UTILITY LOCATIONS TO BE DETERMINED WITH BUILDING PERMIT.

PROPOSED FIRE HYDRANT WILL HAVE 1,500+ GPM, AT 20 PSI



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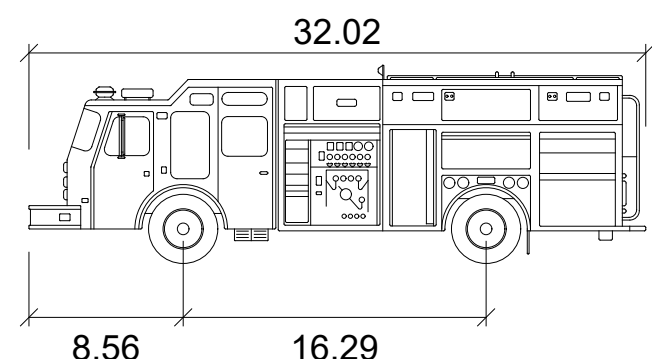
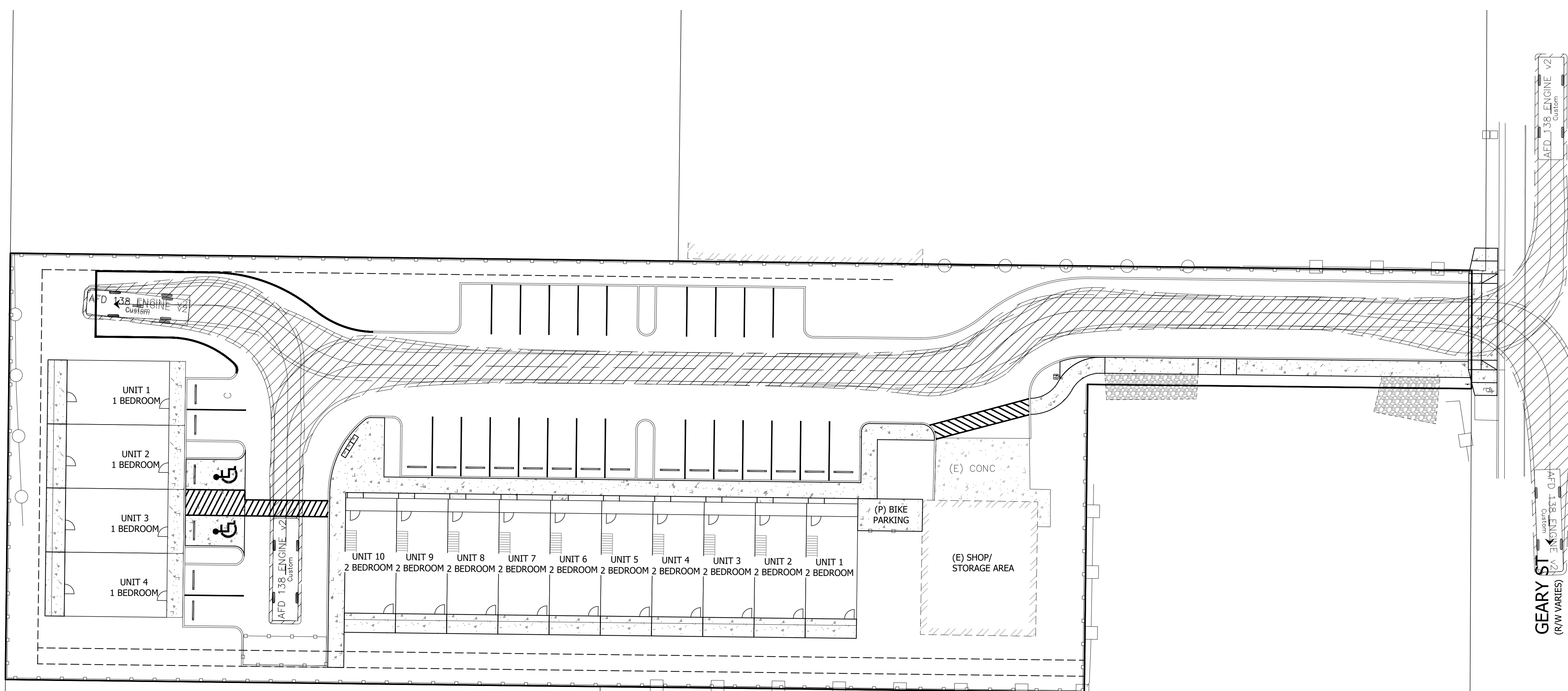
PRELIMINARY FIRE SITE PLAN
3LIFESTYLE HOLDINGS, LLC
2018 GEARY ST. SE
MULTI-FAMILY
ALBANY, OR 97321

DATE: MAY 31, 2023
PROJECT: 22-281 3LIFESTYLE
DRAWN BY: NDJ
CHECKED BY: ISV

REVIEW COPY NOT FOR CONSTRUCTION

PLAN REVISIONS	DATE

Sheet **FD1**
SCALE: SEE BARSCALE



AFD 138 ENGINE v2	feet
Width	: 8.00
Track	: 8.17
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

PLAN REVISIONS	DATE

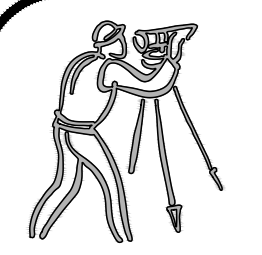
Sheet **FD2**
SCALE: SEE BARSCALE

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AUTOTURN PLAN
3LIFESTYLE HOLDINGS, LLC
2018 GEARY ST. SE
MULTI-FAMILY
ALBANY, OR 97321

**UDELL ENGINEERING
AND
LAND SURVEYING, LLC**
63 EAST ASH ST.
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C/O: MATTHEW FITCHETT
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(541) 990-5191
MATTHEW@3LIFESTYLEHOMES.COM



DATE: MAY 31, 2023
PROJECT: 22-281 3LIFESTYLE
DRAWN BY: NDJ
CHECKED BY: ISV

OPEN SPACE SUMMARY:

TOTAL SITE 1.13 ACRES
 15% REQUIRED OPEN SPACE 7383 SQF

PRIVATE OPEN SPACE PER 2-BEDROOM 96 SQF
 PRIVATE OPEN SPACE SINGLE BEDROOM 120 SQF
 TOTAL PRIVATE OPEN SPACE 1440 SQF

COMMON OPEN SPACE 7147 SQF
 PLAYGROUND 402 SQF

TOTAL PROPOSED OPEN SPACE 8989 SQF

LANDSCAPING LEGEND

- OPEN SPACE
- 10' LANDSCAPE BUFFER
- 10' TALL DECIDUOUS TREES NO MORE THEN 30' ON CENTER
- DENSE LANDSCAPING FOR PARKING LOT BUFFER
- 1-GALLON SHRUBS, 10 PER 1000 SQF REQUIRED BUFFER AREA

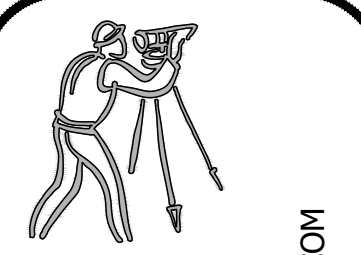
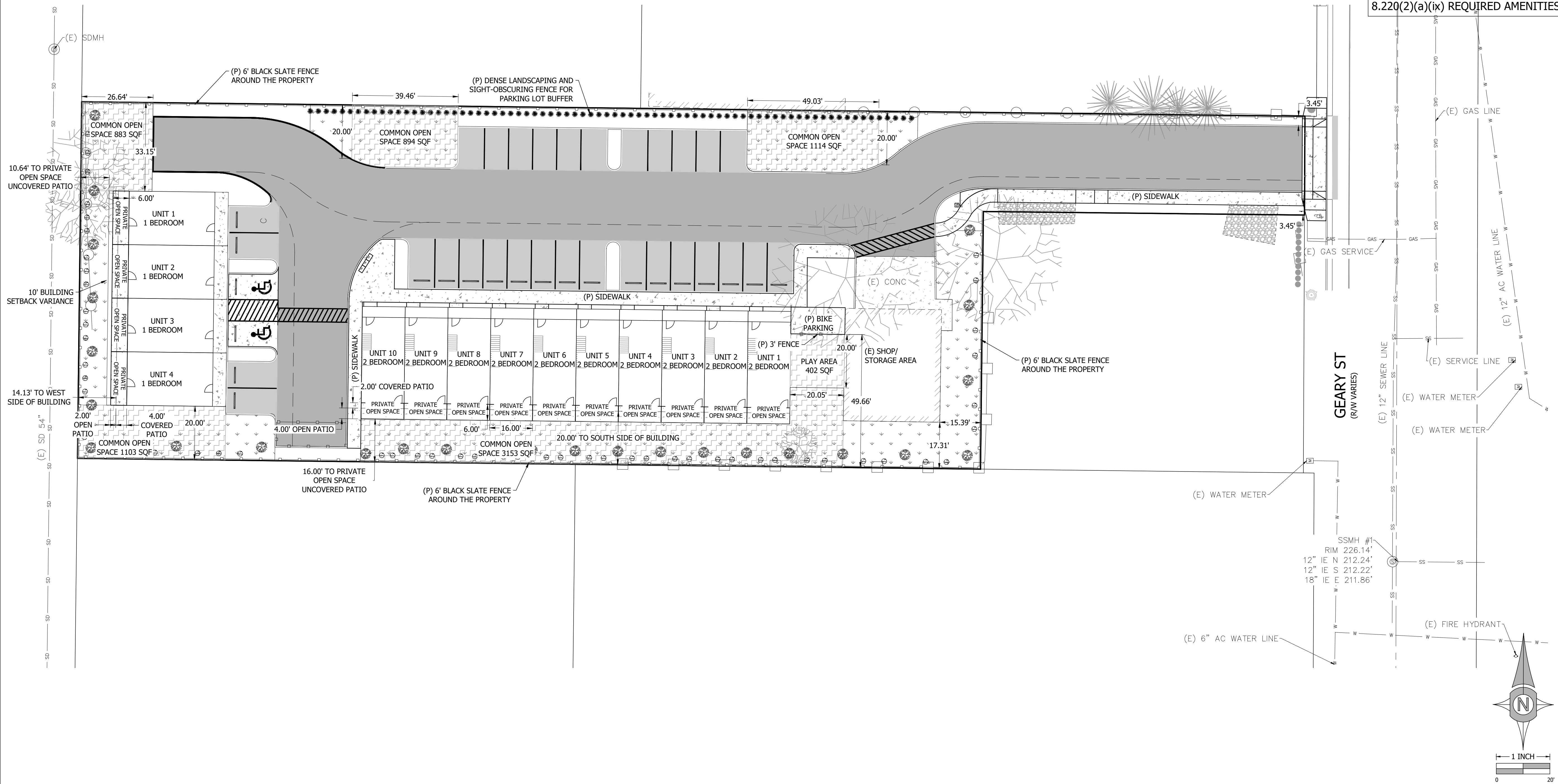
LANDSCAPING NOTE:

LANDSCAPING TO FOLLOW ADC 9.240. REQUIRED BUFFERING TREES AND SHRUBS SUBJECT TO CHANGE AND THUS ALTERING SPACING OR AMOUNT.

OPEN SPACE NOTE:

COMMON OPEN SPACE TO MEET ADC 8.220(2) REQUIRED AMENITIES.

PLAY AREA TO MEET ADC 8.220(2)(a)(ix) REQUIRED AMENITIES.



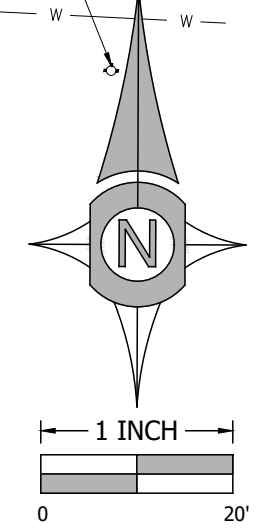
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PRELIMINARY LANDSCAPE PLAN
 3LIFESTYLE HOLDINGS, LLC
 2018 GEARY ST. SE
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 ALBANY, OR 97321

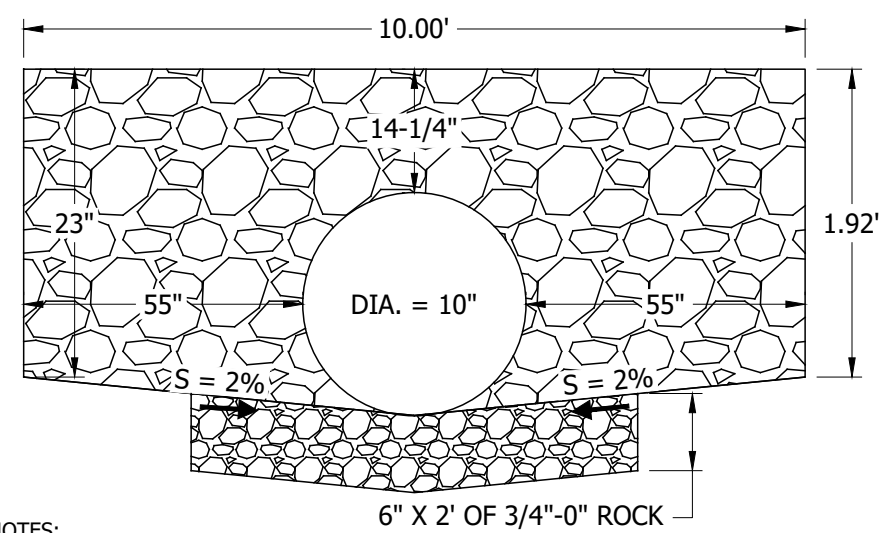
DATE: MAY 31, 2023
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 CHECKED BY: ISV

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PLAN REVISIONS	DATE

Sheet **C103**
 SCALE: SEE BARSCALE



- NOTES:
 1) ROCK AROUND PIPE TO HAVE 50% MIN. VOIDS.
 2) PIPE TO BE CENTERED.
 3) WRAP ROCK IN ADS GEOSYNTHETICS 315WTK WOVEN GEOTEXTILE FABRIC.

1 DETENTION SECTION VIEW
C300 NTS

WATER DETENTION:

WATER DETENTION TO BE UNDERGROUND. SEE DETAIL 1 SHEET C300 FOR PRELIMINARY UNDERGROUND DETENTION CROSS SECTION.

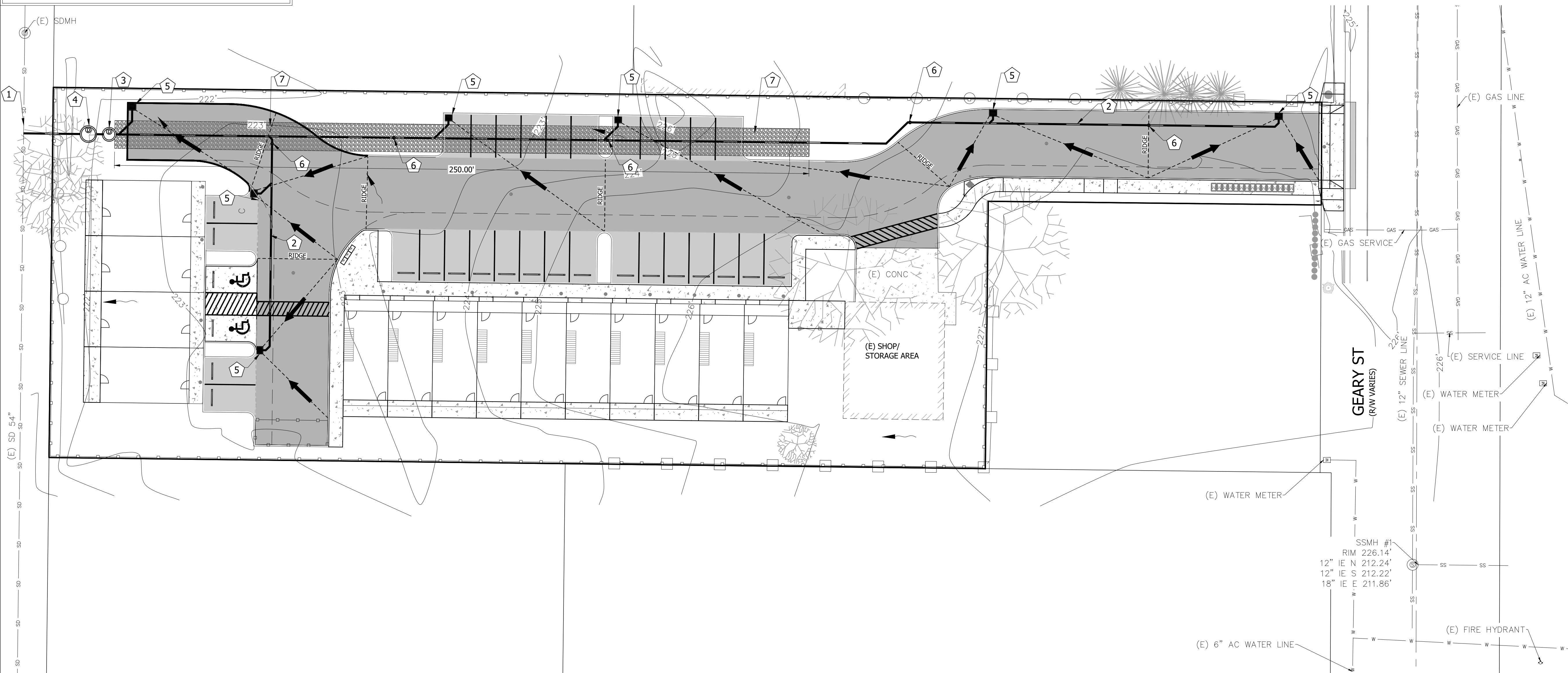
WATER DETENTION:

STORM PIPE SIZING TO BE EVALUATED FULLY DURING FINAL ENGINEERING USING RATIONAL METHOD AND CITY OF ALBANY STANDARDS.

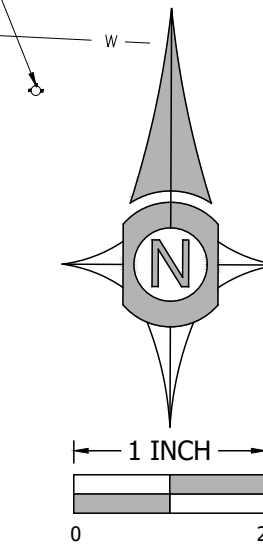
STORM DRAIN NOTES	
1	CONNECT TO EXISTING STORM DRAIN PIPE.
2	INSTALL PRIVATE STORM DRAIN PIPE.
3	INSTALL PRIVATE FLOW CONTROL MANHOLE.
4	INSTALL PRIVATE WATER QUALITY MANHOLE WITH CONTECH STORMFILTER CARTRIDGES.
5	INSTALL PRIVATE CATCH BASIN.
6	INSTALL PRIVATE CLEANOUT.
7	INSTALL UNDERGROUND WATER DETENTION PER DETAIL 1 SHEET C200.

GRADING LEGEND

- 36.2 — EXISTING SURFACE CONTOUR ELEVATION
- EXISTING SURFACE DRAIN DIRECTION
- DESIGN SURFACE DRAIN DIRECTION



SSMH #1
 RIM 226.14'
 12" IE N 212.24'
 12" IE S 212.22'
 18" IE E 211.86'



DOWNSPOUT NOTE:

CONNECT ALL ROOF DOWNSPOUTS TO PIPED STORM DRAIN SYSTEM WITH MANUFACTURED FITTING PER CURRENT STATE OF OREGON PLUMBING SPECIALTY CODE.

ATTENTION

CONTRACTOR SHALL POT HOLE EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. REPORT FINDINGS TO ENGINEER.

PLAN REVISIONS	DATE

REVIEW COPY
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Sheet **C200**

SCALE: SEE BARSCALE

PRELIMINARY GRADING & DRAINAGE PLAN

3LIFESTYLE HOLDINGS, LLC

2018 GEARY ST. SE

MULTI-FAMILY

ALBANY, OR 97321

UDELL ENGINEERING
 AND

LAND SURVEYING, LLC

63 EAST ASH ST.

LEBANON, OREGON 97355

(541) 451-5125 PH.

(541) 451-1366 FAX

CLIENT:

3LIFESTYLE HOMES

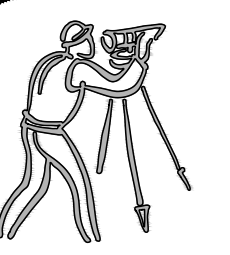
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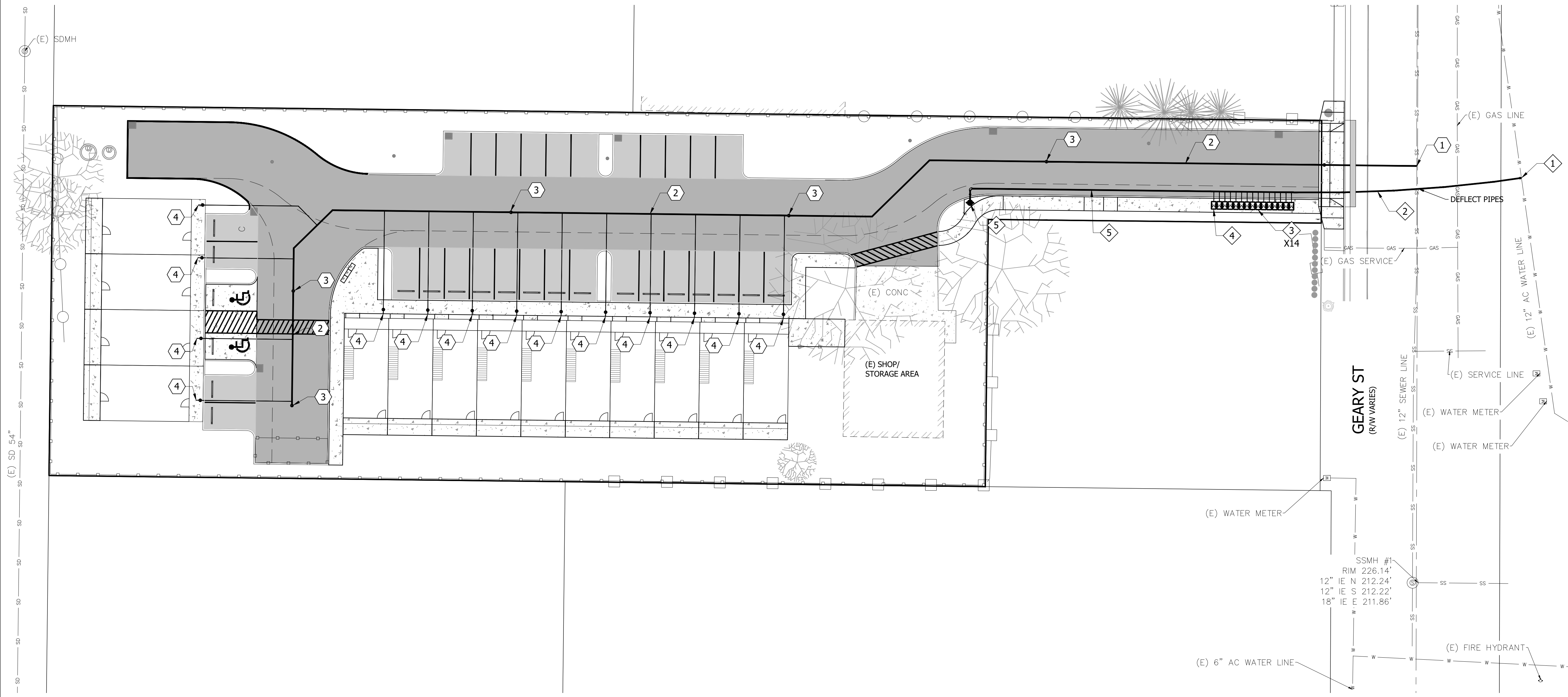
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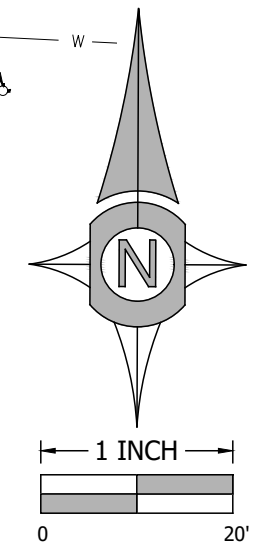


PRIVATE SEWER NOTES	
1	CONNECT TO EXISTING CITY SEWER MAINLINE.
2	INSTALL PRIVATE 6-INCH SANITARY SEWER.
3	INSTALL PRIVATE SANITARY SEWER CLEANOUT.
4	INSTALL PRIVATE SANITARY SEWER LATERAL WITH CLEANOUT.

PUBLIC WATER NOTES	
1	HOT TAP INTO EXISTING CITY WATER LINE.
2	INSTALL PUBLIC DUCTILE IRON WATERLINE.
3	INSTALL PRIVATE COPPER WATER SERVICE AND METER - SIZE TO BE DETERMINED WITH BUILDING PERMIT SUBMITTAL.
4	INSTALL PRIVATE WATER SERVICE FOR IRRIGATION - SIZE TO BE DETERMINED WITH BUILDING PERMIT SUBMITTAL.
5	INSTALL PRIVATE FIRE HYDRANT ASSEMBLY.



SSMH #1
RIM 226.14'
12" IE N 212.24'
12" IE S 212.22'
18" IE E 211.86'



ATTENTION
CONTRACTOR SHALL POT HOLE EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. REPORT FINDINGS TO ENGINEER.

PLAN REVISIONS	DATE

Sheet **C400**
SCALE: SEE BARSCALE

CLIENT:
3LIFESTYLE HOMES
C/O: MATTHEW FITCHETT
PO BOX 3208
ALBANY, OR 97321
(541) 990-5191
MATTHEW@3LIFESTYLEHOMES.COM

UDELL ENGINEERING AND LAND SURVEYING, LLC
63 EAST ASH ST.
LEBANON, OREGON 97355
(541) 451-5125 PH.
(541) 451-1366 FAX

PRELIMINARY UTILITY PLAN
3LIFESTYLE HOLDINGS, LLC
2018 GEARY ST. SE
MULTI-FAMILY
ALBANY, OR 97321

DATE: MAY 31, 2023
PROJECT: 22-281 3LIFESTYLE
DRAWN BY: NDJ
CHECKED BY: ISV

**REVIEW COPY
NOT FOR
CONSTRUCTION**